



## **PLANNING AND ZONING COMMISSION MEETING AGENDA**

Notice is hereby given of a **Regular Meeting** of the La Porte **Planning and Zoning Commission** to be held on **Thursday, October 17, 2019** at 6:00 p.m. at City Hall Council Chambers, 604 W. Fairmont Parkway, La Porte, Texas, regarding the items of business according to the agenda listed below:

- 1. CALL TO ORDER**
- 2. ROLL CALL OF MEMBERS**
- 3. CONSIDER APPROVAL OF THE MEETING MINUTES:**
  - a. September 19, 2019, Meeting
- 4. PUBLIC HEARING:** Open Public Hearing to receive input on an application for Zone Change #19-92000006, a request by Michael Anderson of Ryan Sweezy, applicant, on behalf of Texas Cargoways, LLC, owner; for approval of a zone change from Mid Density Residential (R-2) to General Commercial (GC), on a 6.921 acre tract of land, located at the 3400 Block of Canada Rd., and legally described as Reserve A, Block 1 Dawson Subdivision.
  - a. Staff Presentation
  - b. Applicant Presentation
  - c. Public Comments (for, against, or question)
  - d. Question and Answer
- 5. ADJOURN PUBLIC HEARING**
- 6. CONSIDERATION:** Consider recommendation to City Council on Zone Change #19-92000006.
- 7. FUTURE LAND USE MAP AMENDMENT:** Consider a recommendation to the La Porte City Council on a proposed amendment to the Future Land Use Map component of the La Porte Comprehensive Plan by amending the land use designation for a 6.921 acre tract of land located at the 3400 Block of Canada Rd., and legally described as Reserve A, Block 1 Dawson Subdivision, from "Mid-High Density Residential" to "Commercial".
- 8. PUBLIC HEARING:** Open Public Hearing to receive input on an application for Special Conditional Use Permit (SCUP) #19-91000007, a request by Charles Anders of Bayway Homes Inc., applicant; on behalf of Paulette C. Fonteno, owner; to allow for a single-family duplex home to locate on a 0.12 acre tract of land legally described as Lots 10 & 11, Block 30, Beach Park Subdivision.
  - a. Staff Presentation
  - b. Applicant Presentation

- c. Public Comments (for, against, or question)
- d. Question and Answer

**9. ADJOURN PUBLIC HEARING**

**10. CONSIDERATION:** Consider recommendation to City Council on SCUP #19-91000007

**11. MAJOR DEVELOPMENT SITE PLAN:** Consider approval of the major development site plan #19-83000002, Port of Houston, a 20.76 acre truck processing facility located at 900 Barbours Cut Blvd.

**12. DISCUSSION:**

- a. Mixed Use Project at Wharton Weems and SH 146
- b. Chapter 106 Subcommittee Update
- c. Update on City Council Actions

**13. ADMINISTRATIVE REPORTS:**

**14. COMMISSION COMMENTS** on matters appearing on the agenda or inquiry of staff regarding specific factual information or existing policy.

**15. ADJOURN**

A quorum of City Council members may be present and participate in discussions during this meeting; however, no action will be taken by the Council.

In compliance with the Americans with Disabilities Act, The City of La Porte will provide for reasonable accommodations for persons attending public meetings. To better serve attendees, requests should be received 24 hours prior to the meetings. Please contact Lee Woodward, City Secretary, at 281-470-5019.

**CERTIFICATION**

I certify that a copy of the Thursday, October 17, 2019, agenda of items to be considered by the Planning and Zoning Commission was posted on the City Hall bulletin board on the \_\_\_\_ day of \_\_\_\_\_, 2019.

\_\_\_\_\_

Title: \_\_\_\_\_

**City of La Porte, Texas  
Planning and Zoning Commission**



**October 17, 2019**

## **AGENDA ITEM 3**

Consider approval of the Meeting Minutes:

- a. September 19, 2019

*Ian Clowes, City Planner*

*Planning and Development Department*

*City of La Porte, Texas*

**Planning and Zoning Commission  
Minutes of September 19, 2019**

**Commissioners Present:** Chairman Hal Lawler, Nick Barrera, Karen Wheeler-Hall, Christina Tschappat, Trey Kendrick, Richard Warren, Jo Ann Pitzer

**Commissioners Absent:** Commissioners Mark Follis and Lou Ann Martin

**City Staff Present:** Assistant City Attorney Clark Askins, Assistant City Manager Jason Weeks, City Planner Ian Clowes, Planning Technician Chase Stewart

**1. CALL TO ORDER:**

Chairman Lawler called the meeting to order at 6:00 p.m.

**2. ROLL CALL OF MEMBERS:**

Commissioners Follis and Martin were absent for the meeting.

**3. Consider Approval of Meeting Minutes:**

- a) August 15, 2019 Minutes

**Motion** by Commissioner Tschappat to approve the proposed meeting minutes.

**Second** by Commissioner Warren

**Motion to approve carried**

**Ayes:** Commissioners Barrera, Wheeler-Hall, Tschappat, Kendrick, Warren, Pitzer and Chairman Lawler

**Nays:** None

**Motion to approve passes, 7-0**

**4. Public Hearing (6:00 pm):** Open public hearing to receive input on an application for Zone Change #19-92000005, a request by Francisco and Ileana Saucedo, applicant and owner; for approval of a zone change from General Commercial (GC) to Low Density Residential (R-1), on a 0.29 acre tract of land located at the northeast corner of N. 1<sup>st</sup> St. and W. Tyler St., and legally described as Lots 13-16, Block 85, Town of La Porte.

- a) **Staff Presentation:** Ian Clowes, City Planner, presented the zone change request to the Planning and Zoning Commission. Staff determined the request would not be considered spot zoning. An approved zone change would permit the construction of a single-family home on the property.
- b) **Applicant Presentation:** Francisco Saucedo – 2721 Martin St., Pasadena, TX. The applicant stated his intent to build a single-family home on the site.
- c) **Public Comments:** None

d) **Question and Answer: N/A**

**Motion** by Commissioner Kendrick to approve the proposed zone change #19-92000005  
**Second** by Commissioner Warren **Motion to approve carried**

**Ayes:** Commissioners Barrera, Wheeler-Hall, Tschappat, Kendrick, Warren, Pitzer and Chairman Lawler

**Nays:** None **Motion to approve passes, 7-0**

5. **Future Land Use Map Amendment (6:09 pm):** Consider a recommendation to City Council on a proposed amendment to the Future Land Use Map component of the La Porte Comprehensive Plan by amending the land use designation for a 0.29 acre tract of land located at the northeast corner of N. 1<sup>st</sup> St. and W. Tyler St., and legally described as Lots 13-16, Block 85, Town of La Porte, from “Commercial” to “Low Density Residential”.

a) **Staff Presentation: N/A**

b) **Question and Answer: N/A**

**Motion** by Commissioner Warren to approve the proposed Future Land Use Map amendment.

**Second** by Commissioner Barrera **Motion to approve carried**

**Ayes:** Commissioners Barrera, Wheeler-Hall, Tschappat, Kendrick, Warren, Pitzer and Chairman Lawler

**Nays:** None **Motion to approve passes, 7-0**

6. **Discussion:**

a) **High priority Chapter 106 Amendments**

- Definition of “Truck Stops”
- How to address Façade Requirements
- Hazardous Truck Route and Hazardous Trucking Use clarification
- Warehousing and Distribution Uses

7. **Administrative Reports:**

a) **Update on City Council actions**

- Approval of proposed warehouse on S. 16<sup>th</sup> St. and W. M St.

- Canada Rd. and Fairmont Pkwy. Apartments to be heard by Council, upcoming Monday.
- 11311 Spencer Hwy. Zone Change proposal was withdrawn by the applicant.
- Denial with prejudice Chapter 106 amendment to be heard by Council, upcoming Monday.

**8. Commission Comments:** Commissioner Barrera asked about a time limit on public comments.

**9. Adjourn (6:25pm):**

**Motion** by Commissioner Warren to adjourn the meeting.

**Second** by Commissioner Tschappat                      **Motion to adjourn carried**

**Ayes:** Commissioners Barrera, Wheeler-Hall, Tschappat, Kendrick, Warren, Pitzer and Chairman Lawler

**Nays:** None

**Motion to adjourn passes, 7-0**

Respectfully submitted,

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Chase Stewart  
Planning Technician

Passed and Approved on \_\_\_\_\_, 2019.

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Hal Lawler  
Chairman, Planning and Zoning Commission

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Trey Kendrick  
Secretary, Planning and Zoning Commission

**City of La Porte, Texas  
Planning and Zoning Commission**



**October 17, 2019**

## **AGENDA ITEMS 4-6**

### **Zone Change Request #19-92000006**

A request by Ryan Sweezy, applicant, on behalf of Texas Cargoways, LLC, owner; for approval of a zone change from Mid Density Residential (R-2) to General Commercial (GC), on a 6.921 acre tract of land, located at the 3400 Block of Canada Rd., and legally described as Reserve A, Block 1 Dawson Subdivision.

***Ian Clowes, City Planner  
Planning and Development Department  
City of La Porte, Texas***

## Planning and Development Department Staff Report

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### ISSUE

Should the Planning and Zoning Commission recommend approval of a change in zoning from Mid Density Residential (R-2) to the General Commercial (GC) zoning district; on approximately 6.921 acres of land, legally described as Reserve A, Block 1 Dawson Subdivision?

### DISCUSSION

Location:

The subject site is located at the 3400 Block of Canada Rd.

Background Information:

The property is currently undeveloped. The applicant would like to develop the site for outdoor boat and recreation vehicle (RV) storage. In order to allow the proposed use, the site must be rezoned to General Commercial. The adjacent property to the north, also zoned R-2, is currently occupied by a vacant commercial/light industrial facility

The attached Exhibit B shows the zoning of the subject property and surrounding properties. The following table summarizes the surrounding zoning and land uses:

	Zoning	Land Use
<b>North</b>	R-2, Mid Density Residential	Drainage Channel/industrial facility
<b>South</b>	GC, General Commercial/R-3, High Density Residential	Mariposa Senior Apartments
<b>West</b>	MH, Manufactured Housing	Pecan Park
<b>East</b>	R-2, Mid Density Residential	Drainage

The site is currently identified as Mid-High Density Residential in the Future Land Use Map. As a result, in order to rezone the property, the city's Future Land Use Map should be amended to identify this site as Commercial.

Notification Requirements:

Staff finds that the public hearing notification requirements outlined in Section 106-171 were performed in accordance with code provisions, including the following: notice in a

newspaper of general circulation at least 15 days prior to the hearing; written notice mailed to owners of real property within 200 feet of the site within 10 days of the hearing and in this case notice was sent to all property owners and residents within the rezoning area; signs were posted in the area of the rezoning within 10 days of the hearing. In accordance with state law, notice of the public hearing was also posted at City Hall and on the City’s website.

**Analysis:**

There are a number of different considerations staff evaluated during the review of this application. The following describes staff’s analysis of those considerations:

1. *Land Use.* Staff finds that allowing for a commercial use to be constructed on this site would not be consistent with the use pattern of the area.
2. *Access.* There is sufficient existing right-of-way access along Canada Rd.
3. *Utilities.* Water and sewer services are available along Canada Rd.

Additionally, the City’s Comprehensive Plan identifies a number of items to be considered prior to making land use decisions. The following table breaks down each item and staff’s finding:

<b>Criterion:</b>	<b>Staff Findings:</b>
Ability of infrastructure to support the permitted use.	Existing infrastructure in the area is sufficient to support the proposed use.
Impact on the value and practicality of the surrounding land uses.	Proposed zone change would not be consistent with adjacent properties. The proposed use of boat and RV storage would not be ideal for this stretch of Canada Rd.
Conformance of a zoning request with the land use plan.	The proposed zone change will be in conformance with the future land use plan once amended to reflect the change to a commercial use.
Character of the surrounding and adjacent areas.	The proposed zone change would be consistent with current zoning along this section of Canada Rd. The proposed use would not be consistent.
Suitability of the property for the uses which would be permissible, considering density, access and circulation, and adequacy of public facilities and services.	Development of the proposed site for commercial uses would be permissible.
The extent to which the proposed use designation would adversely affect the capacity or safety of that portion of the road.	The proposed zone change will have minimal impact on the traffic along Canada Rd. Total impact cannot be determined until development and will be based on the specific use.
The extent to which the proposed use designation would create excessive air pollution, water pollution, noise	The proposed zone change will not create excessive air pollution or other negative environmental issues.

Planning and Zoning Commission Regular Meeting  
October 17, 2019  
Zone Change #19-9200006

pollution, or other environmental harm to adjacent properties.	
The gain, if any, to the public health, safety, and welfare of the City.	Staff is not able to identify any specific benefits that this proposed use would bring to the city at this time.

**RECOMENDATION**

Based on the above analysis, staff is unable to recommend approval to the Planning and Zoning Commission for the proposed zone change from Mid Density Residential (R-2) to General Commercial (GC).

**ATTACHMENTS**

- Exhibit A: Aerial Map
- Exhibit B: Zoning Map
- Exhibit C: Land Use Map
- Exhibit D: Application



**EXHIBIT A**  
**AERIAL MAP**

**Zone Change**  
**19-92000006**

**3400 Block**  
**Canada Rd.**

**Legend**

 Subject Parcel

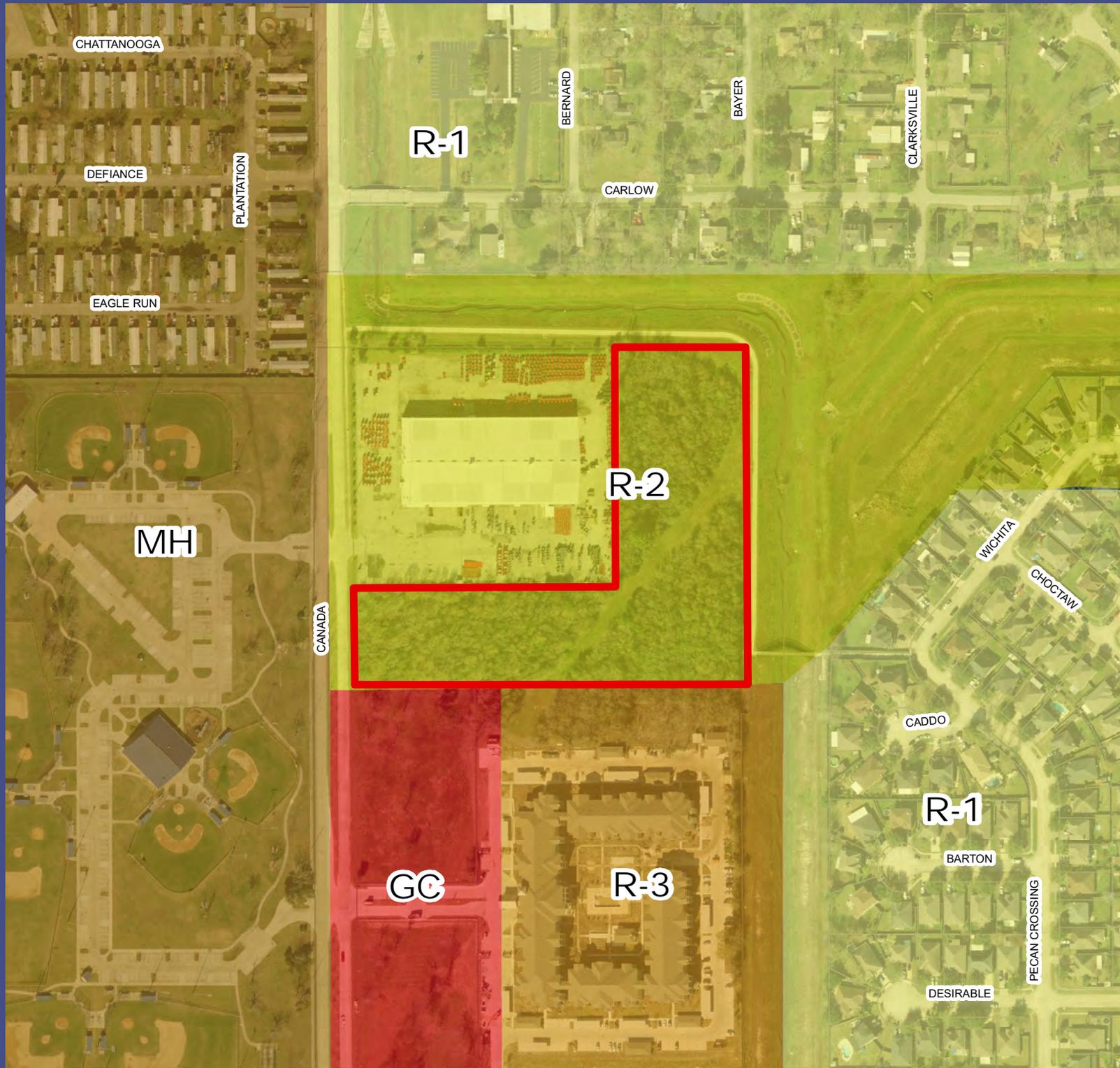


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1 inch = 279 feet



**OCTOBER 2019**  
**PLANNING DEPARTMENT**



**EXHIBIT B**  
**ZONING MAP**

**Zone Change**  
**19-92000006**

**3400 Block**  
**Canada Rd.**

**Legend**

 Subject Parcel

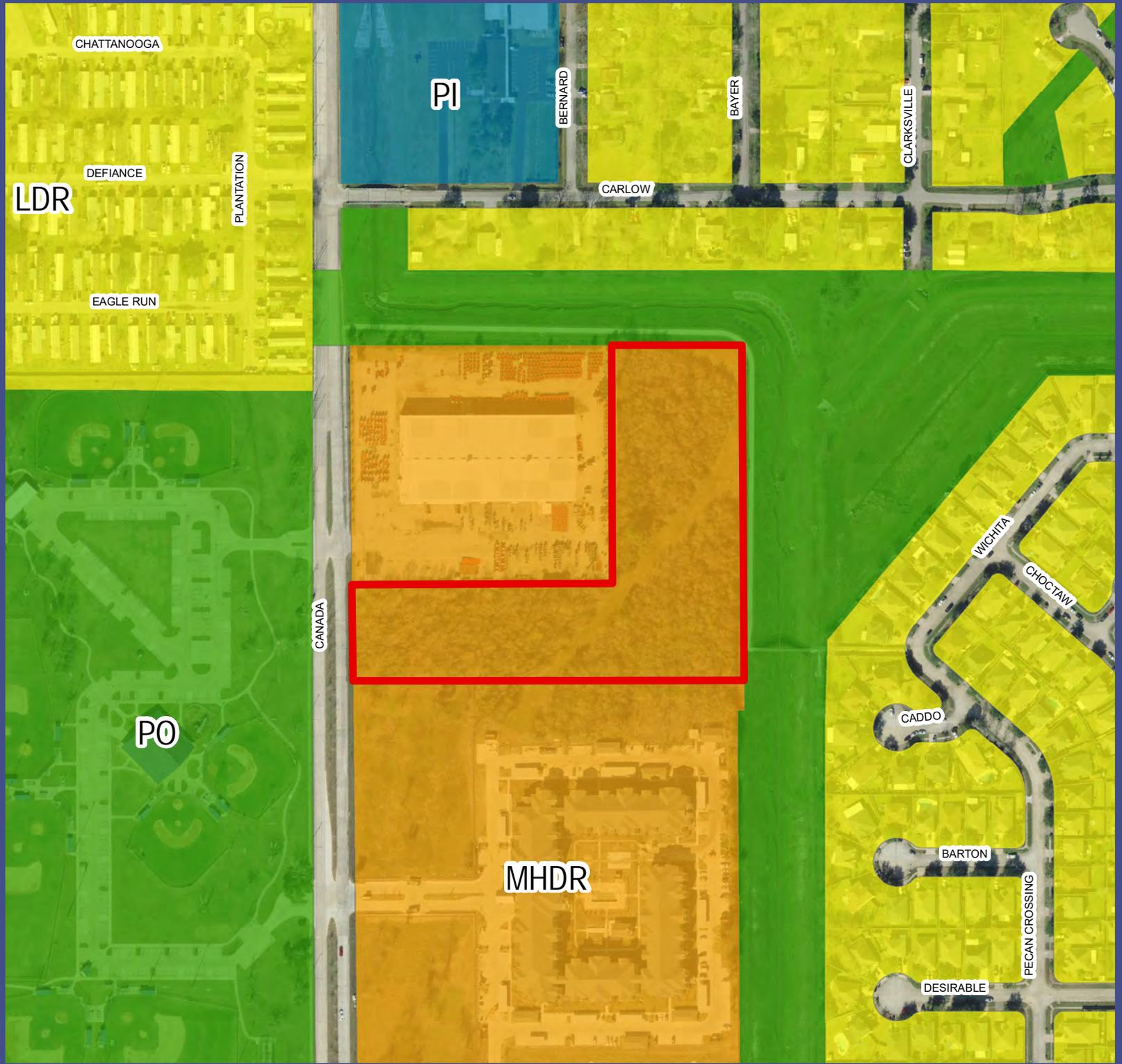


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**OCTOBER 2019**  
**PLANNING DEPARTMENT**



**EXHIBIT C**

**LAND USE MAP**

**Zone Change  
19-92000006**

**3400 Block Canada  
Rd.**

**Legend**

 Subject Parcel



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**OCTOBER 2019  
PLANNING DEPARTMENT**



# Zone Change Application

Planning and Development Department

### PROJECT INFORMATION

Address where zone change is being requested: 0 Canada Road  
 Legal description where zone change is being requested: 6.921 Acres Blk 1 Reserve "A"  
 HCAD Parcel Number where zone change is being requested: 129-914-001-0001  
 Zoning District: \_\_\_\_\_ Lot area: \_\_\_\_\_

A request for approval of a zone change is hereby made to the City of La Porte.

Description of Request: Zone change to Commercial  
in order to put in a Boat and RV  
Storage

Attached hereto is a Project Description Letter describing the project and outlining the reasons why such SCUP should be approved.

### PROPERTY OWNER(S) INFORMATION

Name: Texas Cargoways LLC  
 Company (if applicable): \_\_\_\_\_  
 Address: 1201 Hahlo St  
 City: Houston State: TX Zip: 77020-7339  
 Phone: 713 672-0515 Email: \_\_\_\_\_

### AUTHORIZED AGENT (If other than owner)

Name: Ryan Sweezy  
 Company (if applicable): \_\_\_\_\_  
 Address: 2302 E Lawther  
 City: Deer Park State: TX Zip: 77536  
 Phone: 281-380-3669 Email: \_\_\_\_\_

### OWNER(S) & AGENT CERTIFICATION

I hereby depose and state under the penalties of perjury that all statements, proposals and/or plans submitted with/or contained in this application are true and correct and the application is complete to the best of my knowledge and belief.

Agent's Signature: [Signature] Date: 9/10/19  
 Owner(s)' Signature(s): [Signature] Date: 9/10/19

**STAFF USE ONLY:**

Case Number:  
19-9200006

Date Application Received:  
9/10/19



AFFIDAVIT OF POSTING
PLANNING AND ZONING COMMISSION PUBLIC HEARING

STATE OF TEXAS
COUNTY OF HARRIS
CITY OF LA PORTE

The undersigned hereby duly swears on oath and says:

1. A public hearing sign was provided to me by the City of La Porte's Planning and Development Department. I hereby attest that said sign will be posted on the following described property, which is subject to the application:
ADDRESS: 0 Canada Rd LaPorte, TX 77541
LEGAL DESCRIPTION: RES A BLK I DAWSON

2. In accordance with the provisions of Section 106-194 of the city's Code of Ordinances, I hereby attest that said sign will be posted on the described property for no less than fifteen (15) days prior to the scheduled public hearing; starting at least on the following date:

3. Said sign shall be placed on the property within 20 feet of the abutting street.

4. Said sign shall remain legible and visible for the entire fifteen (15) day posting period. If sign is damaged or missing, I hereby attest that I will contact the City of La Porte for a replacement sign.

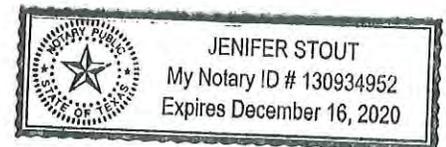
Melissa Sweezy
Applicant's Signature
Melissa Sweezy
Applicant's Printed Name

Subscribed and sworn before me this 10 day of September, 2019 by melissa Sweezy (Print Applicant's Name).

Jenifer Stout
Notary Public

(Seal)

My commission expires: 12/16/2020



**City of La Porte, Texas  
Planning and Zoning Commission**



**October 17, 2019**

## **AGENDA ITEM 7**

### **Future Land Use Map Amendment #19-9200006**

A request by Ryan Sweezy, applicant; on behalf of Texas Cargoways, LLC, owner; for an amendment to the City of La Porte's Future Land Use Plan by amending the land use designation for a 6.921 acre tract of land legally described as Reserve A, Block 1 Dawson Subdivision, from "Mid-High Density Residential" to "Commercial" use.

*Ian Clowes, City Planner  
Planning and Development Department  
City of La Porte, Texas*

## Planning and Development Department Staff Report

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### ISSUE

Consider a recommendation of approval to the City Council for an amendment to the city's Future Land Use Plan as demonstrated in the attached Exhibits A and B.

### DISCUSSION

Staff is presenting for consideration an amendment to the city's Future Land Use Plan in conjunction with a zone change request on a 6.921 acre tract of land from R-2 to GC. The site is currently undeveloped and is located at the 3400 Block of Canada Rd.

The city's Future Land Use Plan (FLUP) identifies this property as "Mid-High Density Residential" land use. In order to accommodate the proposed development, the FLUP would need to be amended to allow for "Commercial" use. The FLUP may be amended from time to time if approved by the City Council, upon recommendation by the Planning and Zoning Commission. The attached Exhibit A demonstrates the existing land use while Exhibit B shows the proposed future land use plan.

Section 213.003 of the Texas Local Government Code (LGC) specifies requirements for amending the city's Future Land Use Plan, which was adopted as a component of the Comprehensive Plan. The LGC requires review of the proposed amendment by the Planning and Zoning Commission and consideration by the City Council. A public hearing will be scheduled at the time of City Council review.

The Future Land Use Plan identifies the following surrounding land uses (see the attached Exhibit A):

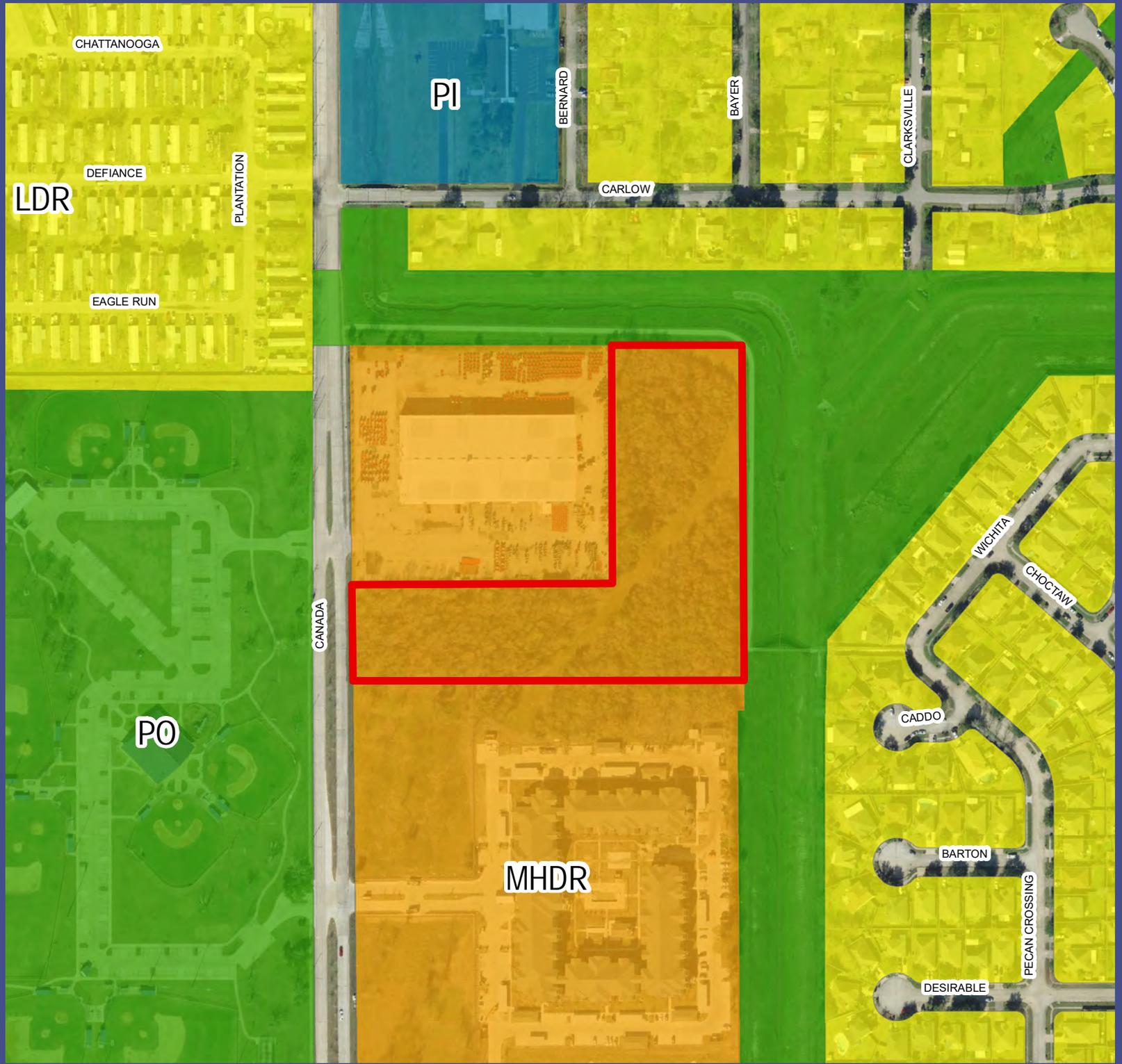
	Land Use	Development
<b>North</b>	Mid-High Density Residential	Drainage Channel/Industrial Building
<b>South</b>	Mid-High Density Residential	Mariposa Apartments
<b>West</b>	Public	Pecan Park
<b>East</b>	Public	Drainage

**RECOMMENDATION**

Should the Planning and Zoning Commission desire to recommend approval for zone change 19-92000006, then the city's Future Land Use Plan should be amended as described in this item.

**ATTACHMENTS**

- Exhibit A: Current Future Land Use Plan
- Exhibit B: Proposed Future Land Use Plan



**EXHIBIT A**

**FLUP MAP**

**Zone Change  
19-92000006**

**3400 Block  
Canada Rd.**

**Legend**

 Subject Parcel

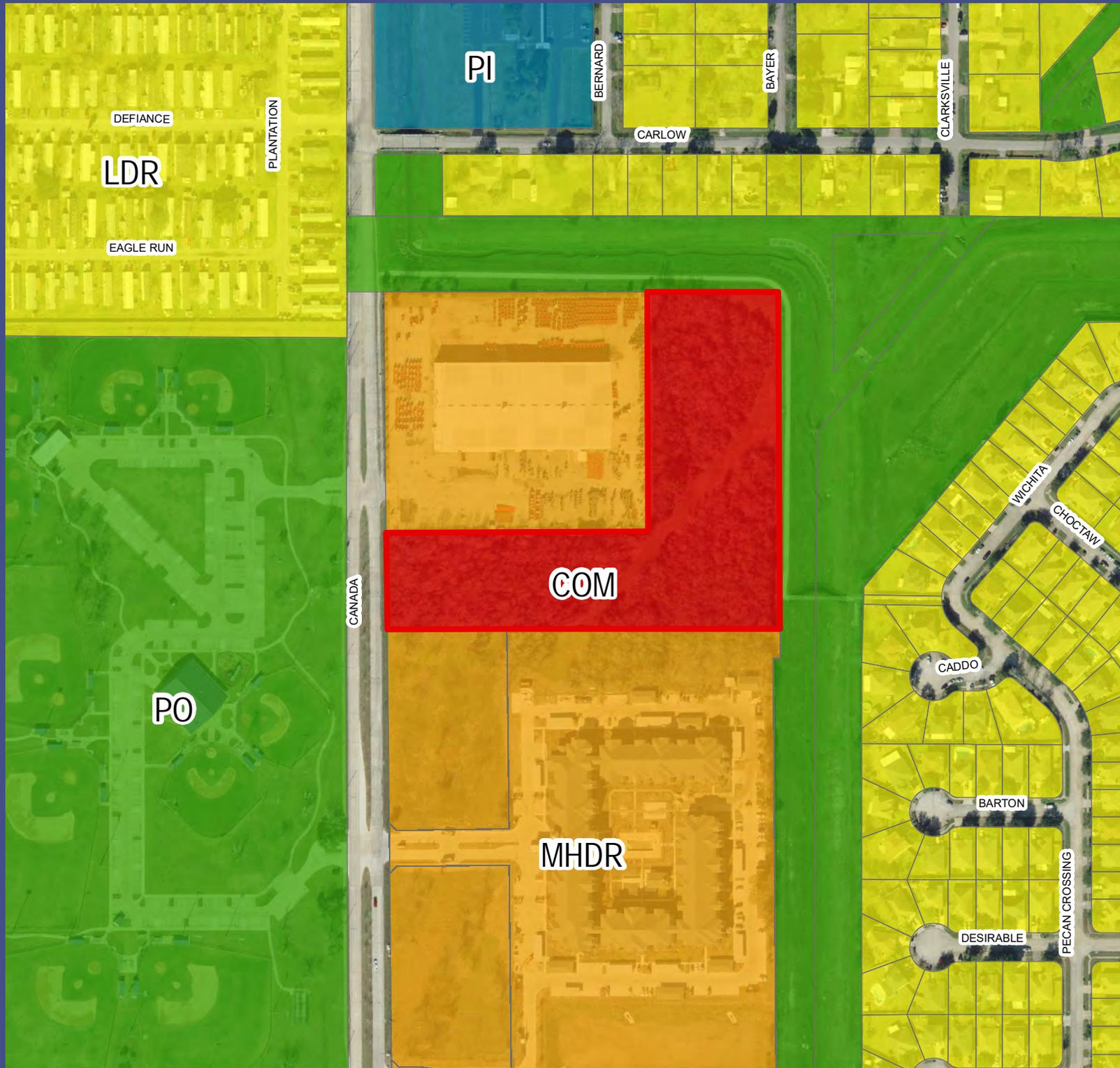


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**OCTOBER 2019  
PLANNING DEPARTMENT**



**EXHIBIT B**

**PROPOSED  
FLUP MAP**

**Zone Change  
19-92000006**

**3400 Block  
Canada Rd.**

**Legend**

 Subject Parcel



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**OCTOBER 2019  
PLANNING DEPARTMENT**

**City of La Porte, Texas  
Planning and Zoning Commission**



**October 17, 2019**

## **AGENDA ITEMS 8-10**

Consider recommendation on Special Conditional Use Permit #19-91000007, a request by Charles Anders of Bayway Homes Inc., applicant; on behalf of Paulette C. Fonteno, owner; to allow for a single-family duplex home to locate on a 0.12 acre tract of land legally described as Lots 10 & 11, Block 30, Beach Park Subdivision.

*Ian Clowes, City Planner  
Planning and Development Department  
City of La Porte, Texas*

## Planning and Development Department Staff Report

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### ISSUE

Consider a recommendation to the City Council on a request by the applicant Bayway Homes for approval of a Special Conditional Use Permit (SCUP) to allow development of a single family attached duplex home located at 536 Bayshore Dr. and legally described as, Lots 10 & 11, Block 30, Beach Park Subdivision.

### DISCUSSION

#### Applicant's Request:

The applicant is seeking approval of a SCUP to allow for the construction of a single duplex home on two lots located on Bayshore Dr. This request is similar to a previously approved SCUP which permitted the development of 9 duplex homes in Block 32 of the Beach Park subdivision, two blocks north of the current proposal. The previous SCUP was approved in 2016 and amended in February of 2019.

#### Background Information:

The total subject site area is legally described as Lots 10 & 11, Block 30, Beach Park Subdivision and is generally located at 536 Bayshore Drive. The attached Exhibit B is an Area Map showing the location of the subject property.

The lot is zoned MU, Mixed Use, and is currently undeveloped. The attached Exhibit C shows the zoning of the subject property and surrounding properties. The following table summarizes the surrounding zoning and land uses:

	<b>Zoning</b>	<b>Land Use</b>
<b>North</b>	MU, Mixed Use	Existing single family residential
<b>South</b>	MU, Mixed Use	Existing single family residential
<b>West</b>	MU, Mixed Use	Existing single family residential
<b>East</b>	R-2, Medium Density Residential	Sylvan Beach Park

The attached Exhibit D identifies this parcel on the city's Future Land Use Plan, as adopted in the Comprehensive Plan, as existing and proposed. Currently the site is identified as "Mixed Use" uses.

Notification Requirements:

The public hearing notification requirements outlined in Section 106-171 were performed in accordance with all applicable code provisions, including the following: notice in a newspaper of general circulation at least 15 days prior to the hearing; written notice mailed to owners of real property within 200 feet of the site within 10 days of the hearing; sign posted on the site within 15 days of the hearing. Additional notice of the public hearing was posted at City Hall and on the City's website in compliance with state law.

Analysis:

There are a number of different considerations staff evaluated during the review of this application. The following describes staff's analysis of those considerations:

*House design.*

The proposed additional units will mirror the design of the recently completed units as approved under SCUP #16-9100001 and SCUP #19-9100001.

*Setbacks.*

The proposed development will provide setbacks consistent with the MU district requirements for single family detached development with the exception of the shared property line between each duplex unit. In the case of the shared property line a setback of 0' shall be permitted. The front setback requirement is a 15' minimum to 25' maximum from the property line, the side setback is 5' and the rear setback is 10'.

*Site Plan.*

No site plan is required for single family residential. The applicant will be required to submit for a building permit consistent with the requirements of the city's residential building codes, fire codes and zoning ordinance. Because the proposed development includes attached units on a property line, the proposed attached units will require a fire wall in compliance with code standards.

*Off-street Parking.*

In conformance with code requirements, the applicant is proposing two car parking spaces or garages under the units.

Conclusion:

Based on the analysis above, staff finds that if the Planning and Zoning Commission desires to recommend approval of the proposed Special Conditional Use Permit, the following conditions should be included as part of the SCUP document:

1. A site development plan shall be submitted in accordance with applicable requirements of the City of La Porte's Development Ordinance and shall

comply with all provisions of Chapter 106, “Zoning” of the City’s Code of Ordinances and all other department reviews and applicable laws and ordinances of the City of La Porte and the State of Texas.

2. The underlying zoning is MU. All MU requirements will need to be met.
3. One single family attached duplex unit is permitted on two platted lots within the development area.
4. A fire wall is required along the shared property line separating each unit in accordance with applicable residential building and fire codes.
5. A 0’ setback is permitted on the shared property line separating the two units of each duplex. Perimeter setbacks are 15' minimum to 25' maximum from the front property line, a minimum of 5' from the side property lines and a minimum or 10' from the rear property line.
6. A minimum of two off-street parking spaces shall be included for each individual unit.
7. All necessary documentation for building permit review must be submitted in conjunction with the city’s building permit application process for any proposed building improvements.
8. Any substantive modifications to this Special Conditional Use Permit will require an amendment to this SCUP in accordance with Chapter 106, “Zoning” of the City’s Code of Ordinances.

Section 106-217 of the Zoning Ordinance outlines specific conditions for approval of SCUP applications. There are three different conditions that must be met in order to approve a SCUP. The following table identifies each of the three conditions and staff’s finding on each:

<b>Condition:</b>	<b>Staff Analysis:</b>
(1) That the specific use will be compatible with and not injurious to the use and enjoyment of other property, nor significantly diminish or impair property values within the immediate vicinity.	The proposed use of single family attached duplex will be compatible with the existing development in the area, as each unit will be sold as owner occupied. The development is consistent with applicable development requirements outlined for single family detached residential in the MU district, with the exception of the shared property line between duplex units.
(2) That the conditions placed on such use as specified in each district have been met by the applicant.	The applicant, up to this point, has complied with all conditions placed on previously approved developments and will be reviewed for compliance at the time of building permit submittals.
(3) That the applicant has agreed to meet any additional conditions imposed.	The applicant has agreed to all recommended conditions and has stated that they are willing to comply with said conditions.

**RECOMMENDATION**

Based on the above analysis, staff recommends the Planning and Zoning Commission consider the proposed SCUP to allow for a single duplex unit to be constructed at 536 Bayshore Dr.

**ATTACHMENTS**

- Exhibit A: Proposed SCUP
- Exhibit B: Aerial Map
- Exhibit C: Zoning Map
- Exhibit D: Land Use Map
- Exhibit E: SCUP Application and Supplemental Information from the Applicant

**City of La Porte**  
**Special Conditional Use Permit #19-9100007**

**This permit is issued to:** Bayway Homes  
**Owner or Agent**

PO Box 1244, Friendswood, TX, 77549  
**Address**

**For Development of:** Bayway Homes Circle Single Family Attached Development Phase 2  
**Development Name**

536 Bayshore Dr.  
**Address**

**Legal Description:** Lots 10 & 11, Block 30, Beach Park Subdivision, Harris County, TX

**Zoning:** MU, Mixed Use

**Use:** Single family attached duplex homes

Permit Conditions:

This Special Conditional Use Permit (SCUP) is applicable for the subject property, a copy of which shall be maintained in the files of the City’s Planning and Development Department upon approval. Project development shall be in accordance with the following conditions:

1. A site development plan shall be submitted in accordance with applicable requirements of the City of La Porte’s Development Ordinance and shall comply with all provisions of Chapter 106, “Zoning” of the City’s Code of Ordinances and all other department reviews and applicable laws and ordinances of the City of La Porte and the State of Texas.
2. The underlying zoning is MU. All MU requirements will need to be met.
3. One single family attached duplex unit is permitted on two platted lots within the development area.
4. A fire wall is required along the shared property line separating each unit in accordance with applicable residential building and fire codes.
5. A 0’ setback is permitted on the shared property line separating the two units of each duplex. Perimeter setbacks are 15’ minimum to 25’ maximum from the front property line, a minimum of 5’ from the side property lines and a minimum of 10’ from the rear property line.
6. A minimum of two off-street parking spaces shall be included for each individual unit.
7. All necessary documentation for building permit review must be submitted in conjunction with the city’s building permit application process for any proposed building improvements.
8. Any substantive modifications to this Special Conditional Use Permit will require an amendment to this SCUP in accordance with Chapter 106, “Zoning” of the City’s Code of Ordinances.

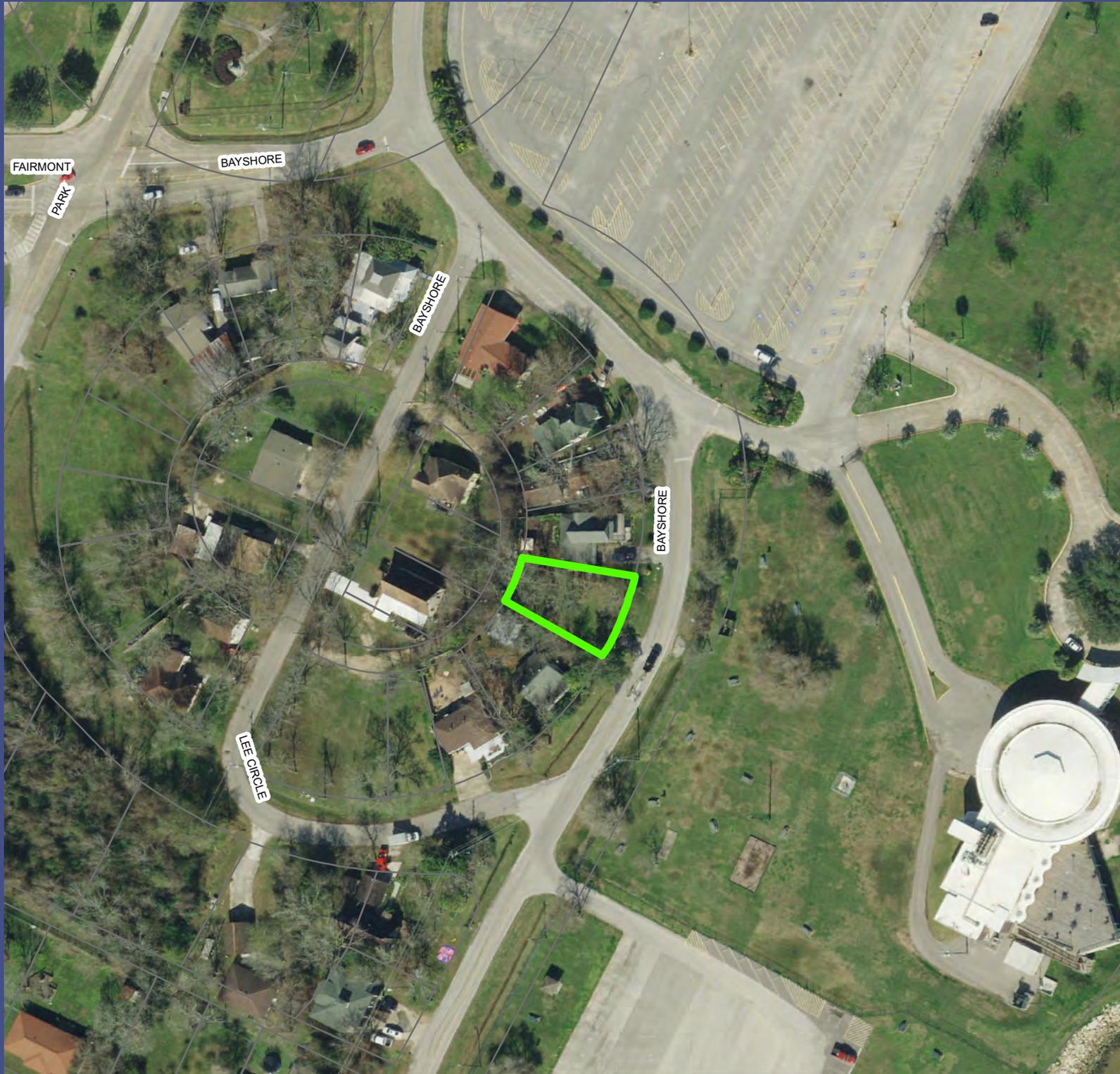
Failure to start construction of the site within 12 months after issuance or as scheduled under the terms of a special conditional use permit shall void the permit as approved, except upon an extension of time granted after application to the Planning and Zoning Commission.

If contract or agreement is terminated after completion of any stage and there is ample evidence that further development is not contemplated, the ordinance establishing such special conditional use permit may be rescinded by the City Council, upon its own motion or upon the recommendation of the Planning and Zoning Commission of the City of La Porte, and the previous zoning of the entire tract shall be in full effect on the portion which is undeveloped.

Validation Date: \_\_\_\_\_

\_\_\_\_\_  
Director of Planning and Development

\_\_\_\_\_  
City Secretary



**EXHIBIT B**

**AERIAL MAP**

**SCUP**

**#19-91000007**

**536 S. Bayshore Dr.**

**Legend**

 Subject Parcel



This product is for informational purposes and may not have been prepared for or be suitable for legal purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries

1 inch = 114 feet



**OCTOBER 2019  
PLANNING DEPARTMENT**



**EXHIBIT C**

**ZONING MAP**

**SCUP**

**#19-91000007**

**536 S. Bayshore Dr.**

**Legend**

 Subject Parcel

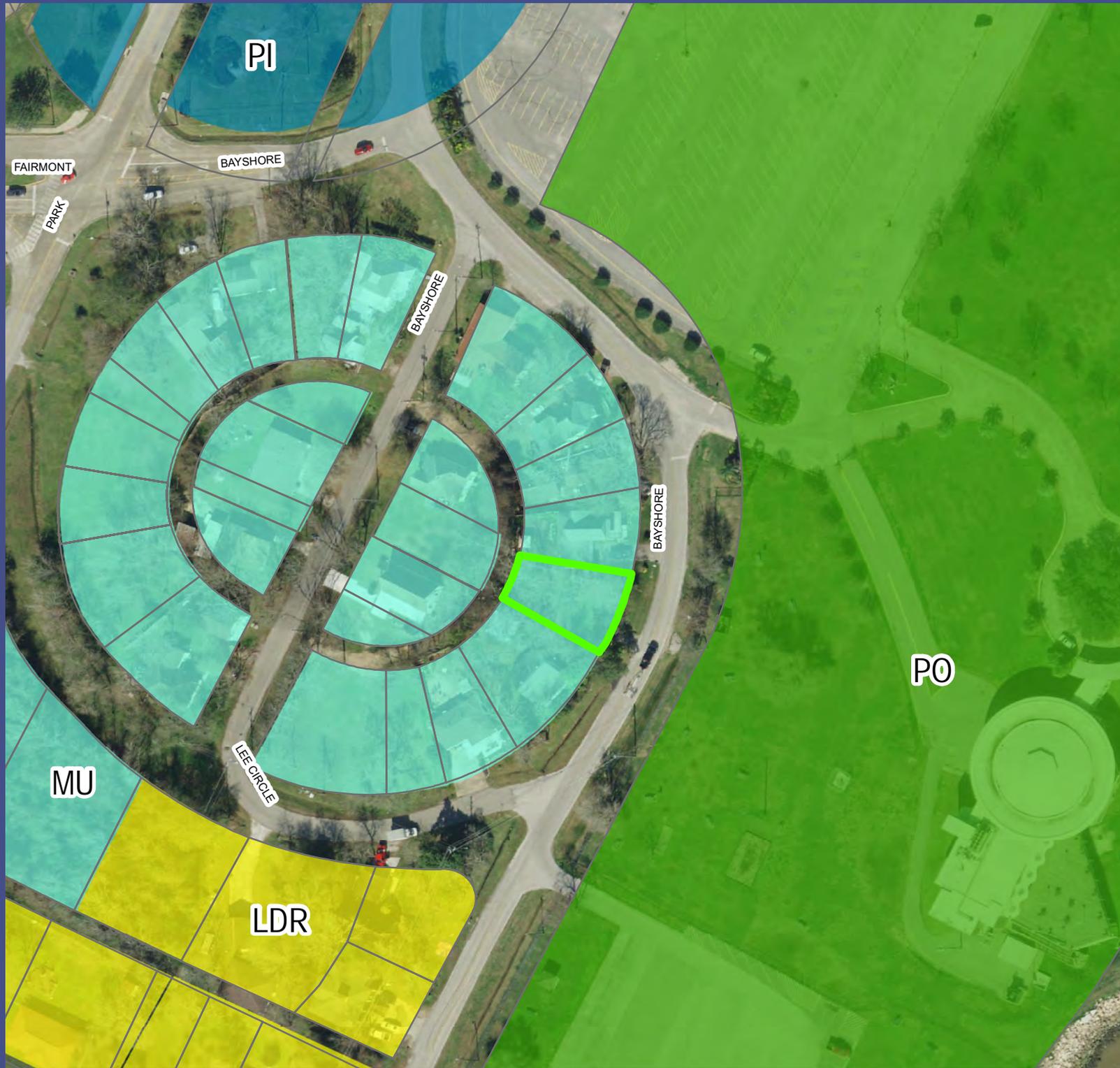


This product is for informational purposes and may not have been prepared for or be suitable for legal purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries

1 inch = 114 feet



**OCTOBER 2019  
PLANNING DEPARTMENT**



**EXHIBIT D**

**LAND USE MAP**

**SCUP**

**#19-91000007**

**536 S. Bayshore Dr.**

**Legend**

 Subject Parcel



This product is for informational purposes and may not have been prepared for or be suitable for legal purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries

1 inch = 114 feet



**OCTOBER 2019  
PLANNING DEPARTMENT**



# Special Conditional Use Permit Application

Planning and Development Department

### PROJECT INFORMATION

Address where SCUP is being requested: 536 S Bayshore Drive  
Legal description where SCUP is being requested: Lots 10 and 11 Blk 30 Beach Park Subdivision Harris Co. Tx  
HCAO Parcel Number where SCUP is being requested: 0070020000010  
Zoning District: MU Lot area: \_\_\_\_\_

A request for approval of a Special Conditional Use Permit is hereby made to the City of La Porte.  
Description of Request: We request a SCUP similar to existing SCUP# 16-91000001 to build a Duplex Townhome ( Two Townhomes, One Building as Bayway Homes is building on N Bayshore Dr.

Attached hereto is a Project Description Letter describing the project and outlining the reasons why such SCUP should be approved.

### PROPERTY OWNER(S) INFORMATION

Name: Paulette C Fonteno  
Company (if applicable): \_\_\_\_\_  
Address: 618 Carmel Parkway  
City: Corpus Christi State: Tx Zip: 78411  
Phone: 332-316-3815 Email: \_\_\_\_\_

### AUTHORIZED AGENT (if other than owner)

Name: Charles Anders  
Company (if applicable): Bayway Homes Inc  
Address: PO Box 1244  
City: Friendswood State: Tx Zip: 77549  
Phone: 2816482425x17 Email: \_\_\_\_\_

### OWNER(S) & AGENT CERTIFICATION

I hereby depose and state under the penalties of perjury that all statements, proposals and/or plans submitted with/or contained in this application are true and correct and this application is complete to the best of my knowledge and belief.

Agent's Signature: [Signature] Date: 8/28/2019

Owner(s)' Signature: [Signature: Paulette C Fonteno] Date: 8/30/2019

**STAFF USE ONLY:**

Case Number: \_\_\_\_\_

Date Application Received: \_\_\_\_\_



Special Conditional Use Permit Application  
Planning and Development Department

AFFIDAVIT OF POSTING  
PLANNING AND ZONING COMMISSION PUBLIC HEARING

STATE OF TEXAS  
COUNTY OF HARRIS  
CITY OF LA PORTE

The undersigned hereby duly swears on oath and says:

- 1. A public hearing sign was provided to me by the City of La Porte's Planning and Development Department. I hereby attest that said sign will be posted on the following described property, which is subject to the application:

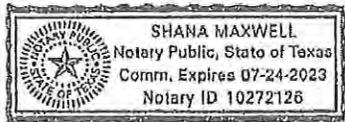
ADDRESS: 536 S. Bayshore Dr. La Porte Tx 77571  
LEGAL DESCRIPTION: Lts 10 & 11 Block 30 Beach Park

- 2. In accordance with the provisions of Section 106-194 of the city's Code of Ordinances, I hereby attest that said sign will be posted on the described property for no less than fifteen (15) days prior to the scheduled public hearing, starting at least on the following date: \_\_\_\_\_
- 3. Said sign shall be placed on the property within 20 feet of the abutting street.
- 4. Said sign shall remain legible and visible for the entire fifteen (15) day posting period. If sign is damaged or missing, I hereby attest that I will contact the City of La Porte for a replacement sign.

*Paulette C. Fonteno*  
Applicant's Signature

PAULETTE C. FONTENO  
Applicant's Printed Name

Subscribed and sworn before me this 30 day of August, 2019, by  
Paulette C. Fonteno (Print Applicant's Name).



(Seal)

Shana Maxwell  
Notary Public

My commission expires: 7/24/2023



# Special Conditional Use Permit Application

Planning and Development Department

### PROJECT INFORMATION

Address where SCUP is being requested: 536 S Bayshore Drive

Legal description where SCUP is being requested: Lots 10 and 11 Blk 30 Beach Park Subdivision Harris Co, Tx

HCAD Parcel Number where SCUP is being requested: 0070020000010

Zoning District: MU Lot area: \_\_\_\_\_

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Attached hereto is a Project Description Letter describing the project and outlining the reasons why such SCUP should be approved.

### PROPERTY OWNER(S) INFORMATION

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Company (if applicable): \_\_\_\_\_

Address: 618 Carmel Parkway

City: Corpus Christi State: Tx Zip: 78411

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

### AUTHORIZED AGENT (If other than owner)

Name: Charles Anders

Company (if applicable): Bayway Homes Inc

Address: PO Box 1244

City: Friendswood State: Tx Zip: 77549

Phone: 2816482425x17 Email: [REDACTED]

### OWNER(S) & AGENT CERTIFICATION

I hereby depose and state under the penalties of perjury that all statements, proposals and/or plans submitted with/or contained in this application are true and correct and the application is complete to the best of my knowledge and belief.

Agent's Signature:  Date: 8/28/2019

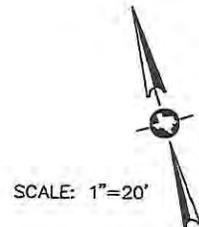
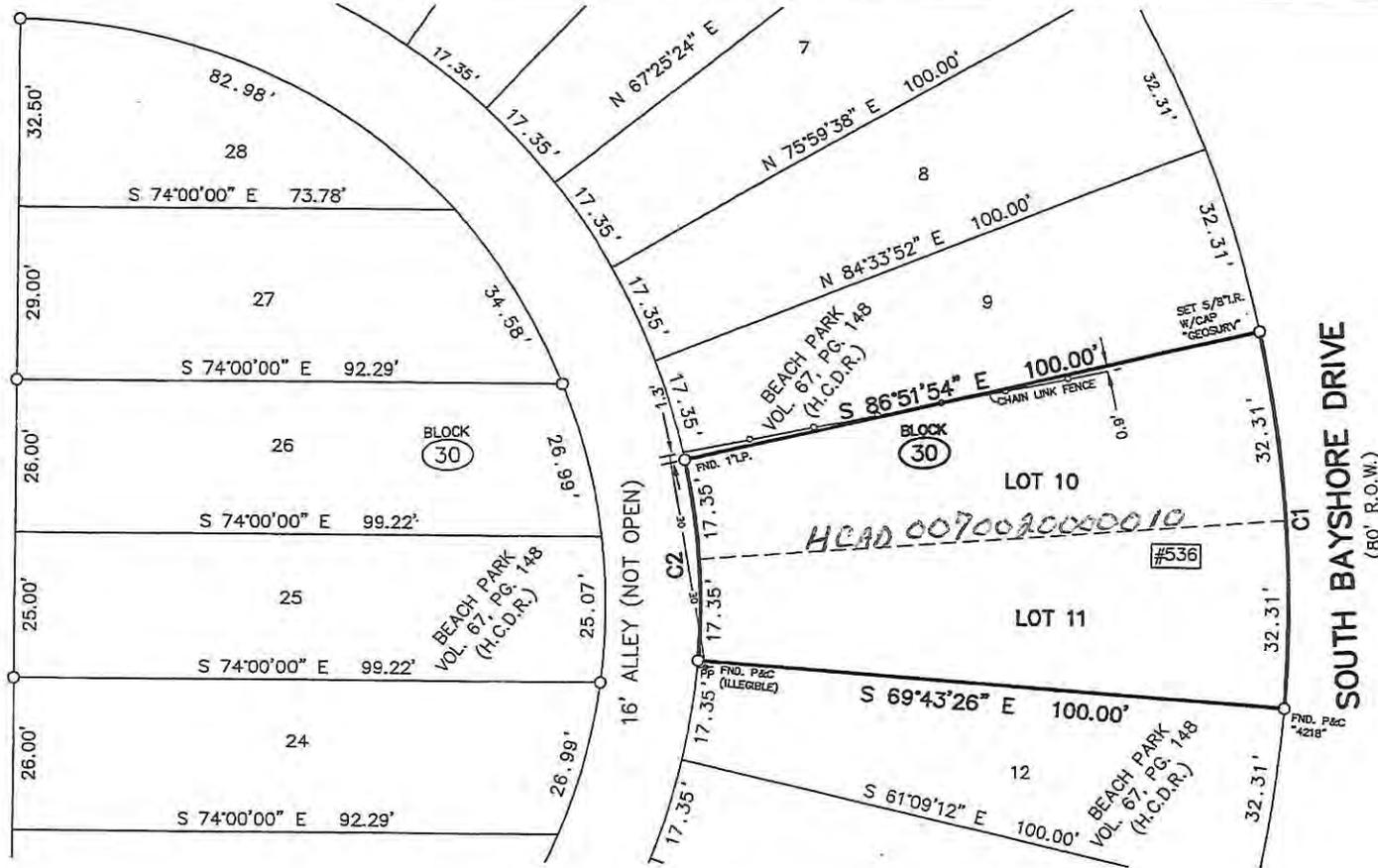
Owner(s)' Signature(s): \_\_\_\_\_ Date: \_\_\_\_\_

#### STAFF USE ONLY:

Case Number: \_\_\_\_\_

Date Application Received: \_\_\_\_\_

CIRCLE DRIVE  
((60' R.O.W.))



**LEGEND**

- H.C.D.R. HARRIS COUNTY DEED RECORDS
- R.O.W. RIGHT-OF-WAY
- I.P. IRON PIPE
- P&C IRON ROD WITH CAP
- #536 PROPERTY ADDRESS
- ⊕ POWER POLE

CURVE	RADIUS	ARC	BEARING	CHORD
C1	216.00'	64.62'	S 11°42'20" W	64.38'
C2	116.00'	34.70'	S 11°42'20" W	34.57'

Survey Prepared for: Paulette Fonteno

Notes:

- 1.) This property lies in Zone "AE" (B.F.E. 14'), defined by FEMA as areas of base flood elevations determined, as scaled from Flood Insurance Rate Map Community--Panel Number 48201C0945M, map revised January 6, 2017.
- 2.) This survey has been prepared without the benefit of a current title report or title commitment. This property may be subject to matters of record not reflected hereon which such a title report or title commitment may reveal.

July 9, 2019

Survey of Lots Ten (10) and Eleven (11) of BEACH PARK a Subdivision in Harris County, Texas, according to the map or plat thereof recorded in Volume 67, Page 148, of the Deed Records in the Office of the County Clerk of Harris County, Texas.

I hereby attest that on the above date, the herein described Lot, together with improvements located thereon, was surveyed on the ground and under my direction, and that this map, together with dimensions as shown hereon, accurately represents the facts as found on the ground this date.



P.O. Box 246, League City, Texas 77574  
281-554-7739 409-765-6030 Fax: 281-554-6928  
Firm No.: 10040100



GeoSurv, LLC  
*[Signature]*  
Dale L. Hardy  
Registered Professional Land Surveyor 4847

F:\V\010\02019\19-0100\19-0100.dwg

**City of La Porte, Texas  
Planning and Zoning Commission**



**October 17, 2019**

## **AGENDA ITEM 11**

Consider approval of a Major Development Site Plan #19-83000002  
to allow for the reconstruction of the truck processing entry gate  
located at 900 Barbours Cut Blvd.

*Ian Clowes, City Planner  
Planning and Development Department  
City of La Porte, Texas*

## Planning and Development Department Staff Report

---

### ISSUE

Should the Planning and Zoning Commission approve a request by Richard Byrnes of the Port of Houston Authority for a Major Development Site Plan for the reconstruction of the existing truck processing facility entry gate located at 900 Barbours Cut Blvd?

### DISCUSSION

Applicant/Property Owner:  
Port of Houston Authority

Background Information:  
The subject site is 20.7 acres in size, and is currently developed. The site is located at 900 Barbours Cut Blvd, east of SH 146. The attached Exhibit B is an Area Map showing the location of the subject property.

The site is owned by the Port of Houston authority and is operated as one of the main truck processing facility for trucks entering the port to pick up or deliver goods. The applicant has an approved Special Conditional Use Permit (SCUP) which allows for this operation. The SCUP was recently amended to permit the reconstruction off the existing facility. The proposed site plan is in compliance with all conditions of the approved SCUP.

Analysis:  
This site development plan was reviewed according to the provisions of Chapter 86-7 (c). Because the overall site is greater than 10 acres in size, it requires consideration by the Planning and Zoning Commission. The site plan is also subject to all applicable requirements of the city's Zoning Ordinance (Chapter 106 of the city's Code of Ordinances). Planning staff has reviewed the proposed site development plan and concluded that the application complies with all applicable code requirements.

Conclusion:  
Based on the review of the site plan submittal, staff finds that the proposed Major Development Site Plan for the Port of Houston entry gate complies with the various applicable code requirements and should be considered for approval.

**RECOMMENDATION**

Staff recommends approval of the proposed Major Development Site Plan as submitted.

**ATTACHMENTS**

- Exhibit A: Port Houston Site Plan
- Exhibit B: Area Map
- Exhibit C: Site Plan Application

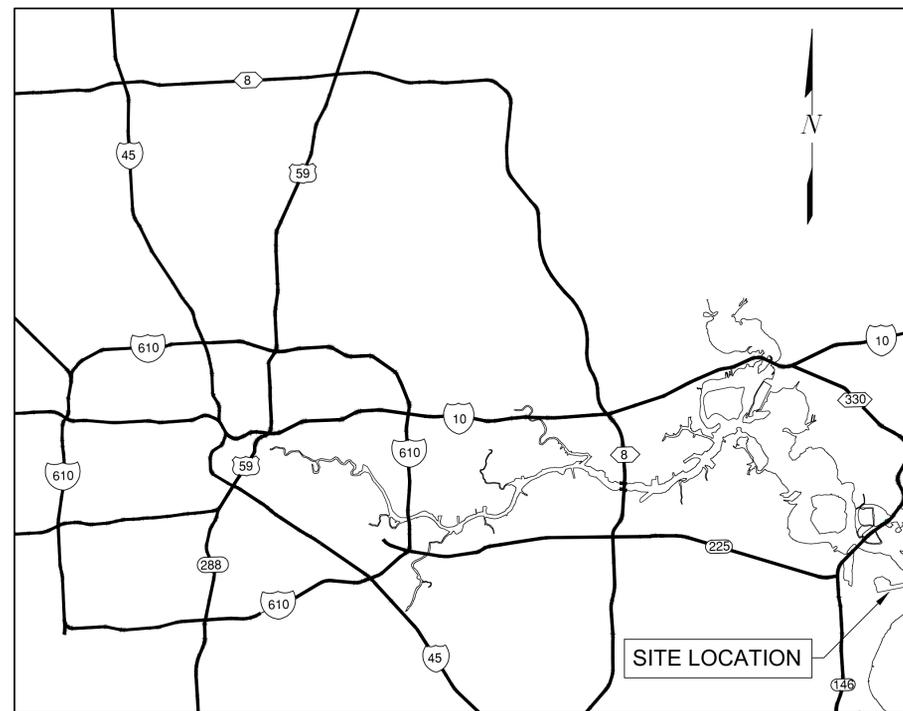


# PORT OF HOUSTON AUTHORITY

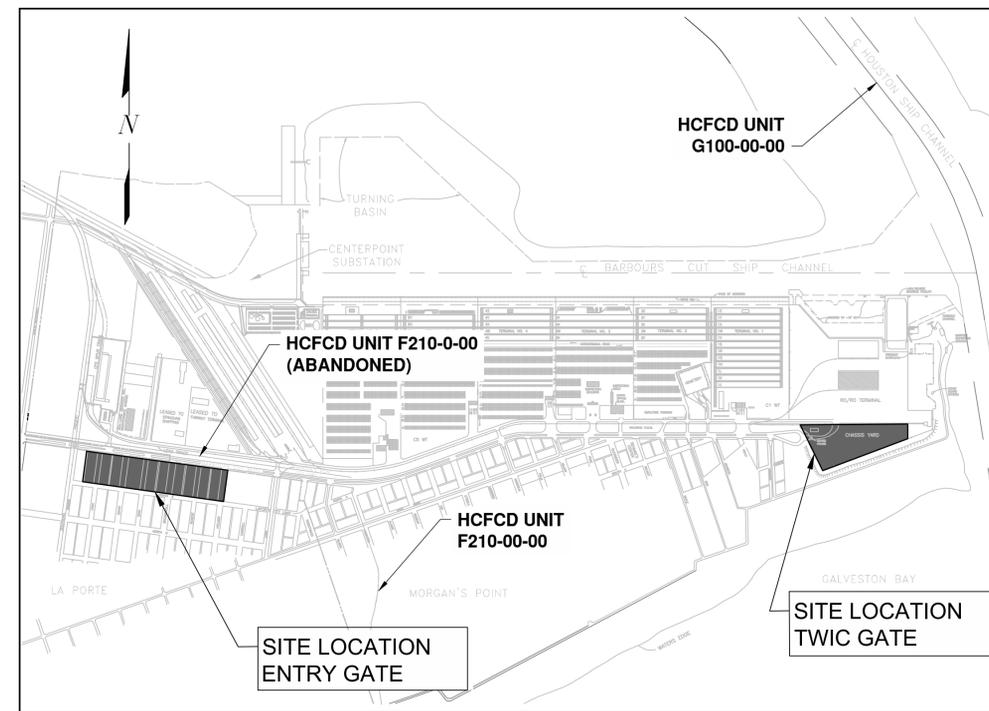
## EXPANSION OF GATE FACILITIES AT BARBOURS CUT TERMINAL



DWG NO: C60-017-001  
JUNE 3, 2019



VICINITY MAP  
N.T.S.



LOCATION MAP  
N.T.S.



PORT OF HOUSTON  
AUTHORITY

CONSULTANT:  
**HATCH**  
HATCH ASSOCIATES  
CONSULTANTS, INC.  
750 TOWN & COUNTRY BLVD., SUITE 650  
HOUSTON, TX 77024  
TEL: 713-467-9961 | WEB: www.hatch.com  
TSP# No. 314

SUBCONSULTANT:  
**BGE, Inc.**  
10777 Westheimer,  
Suite 400  
Houston, TX 77042  
Tel: 281-558-8700  
www.bgeinc.com  
TBPE Registration No. F-1046



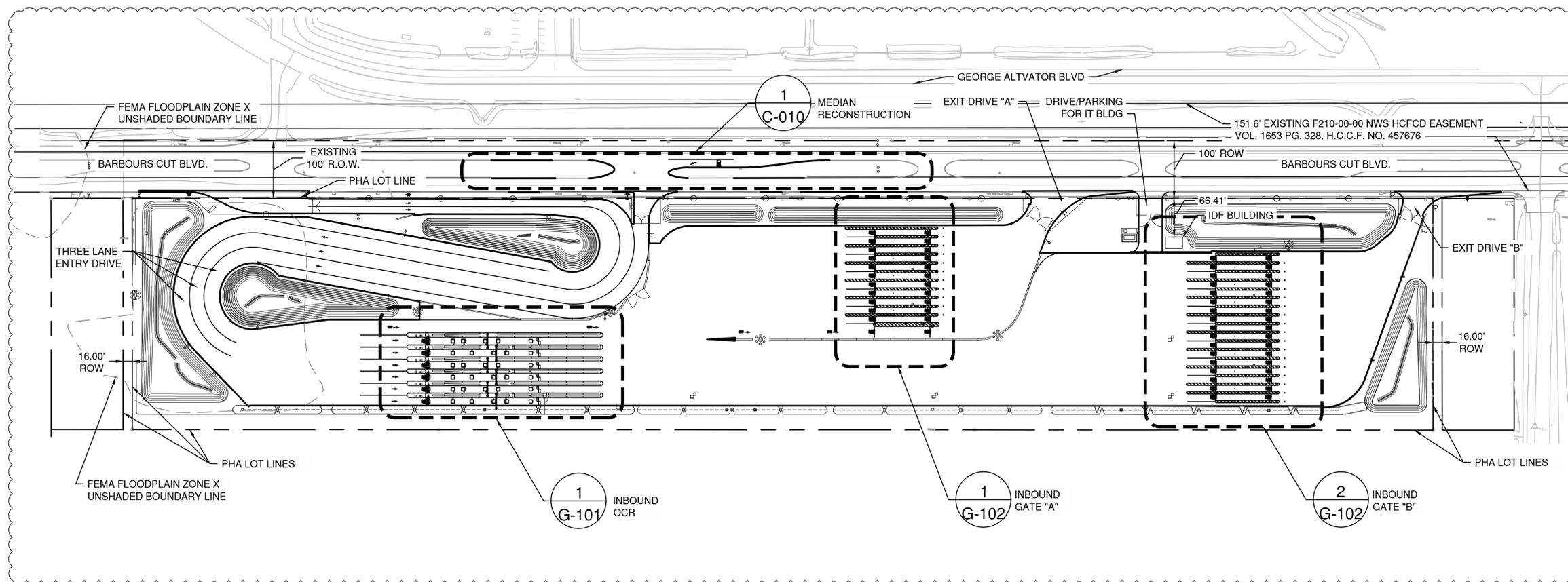
PROJECT TITLE:  
**EXPANSION OF  
GATE FACILITIES  
AT BARBOURS  
CUT TERMINAL**

SHEET TITLE:  
**CIVIL SITE PLAN -  
ENTRY GATE**

REV	DATE	DESCRIPTION
A	6/3/2019	ISSUED FOR BID
B	6/10/2019	ADDENDUM NO. 2

DESIGNER:	SMC
CADD:	LP
CHECKER:	GM
DATE:	8/28/19
SCALE:	1" = 100'

DRAWING NO.  
**C60-D17-001**  
SHEET NO. REV. NO.  
**G-010-P B**



**FLOOD STATEMENT:**  
THIS TRACT IS FLOOD ZONE X AND IS NOT WITHIN THE 100-YEAR FLOOD PLAIN  
ACCORDING TO FEMA MAP # 48201C0945M, DATED JANUARY 06, 2017.

**CIVIL SITE PLAN (ENTRY GATE)**

**PERFORMANCE STANDARDS**

**LIGHTING AND GLARE.** ANY LIGHTING USED SHALL BE ARRANGED SO AS TO DEFLECT LIGHT AWAY FROM ANY ADJOINING RESIDENTIAL ZONE OR FROM PUBLIC STREETS. DIRECT OR SKY-REFLECTED GLARE, WHERE FROM FLOODLIGHTS OR FROM HIGH TEMPERATURE PROCESSES SUCH AS COMBUSTION OR WELDING SHALL NOT BE DIRECTED ONTO ANY ADJOINING PROPERTY. THE SOURCE OF LIGHTS SHALL BE HOODED OR CONTROLLED IN SOME MANNER SO AS NOT TO LIGHT ADJACENT PROPERTY. BARE INCANDESCENT LIGHT BULBS SHALL NOT BE PERMITTED IN VIEW OF ADJACENT PROPERTY OR PUBLIC RIGHT-OF-WAY. ANY LIGHT OR COMBINATION OF LIGHTS WHICH CAST LIGHT ON A PUBLIC STREET SHALL NOT EXCEED ONE FOOTCANDLE (METER READING) AS MEASURED FROM THE CENTERLINE OF SUCH ANY LIGHT OR COMBINATION OF LIGHTS WHICH CASTS LIGHT ON RESIDENTIAL PROPERTY SHALL NOT EXCEED 0.4 FOOTCANDLES (METER READING) AS MEASURED FROM SUCH PROPERTY.

**RADIATION AND ELECTRICAL EMISSIONS.** NO ACTIVITIES SHALL BE PERMITTED THAT EMIT DANGEROUS RADIOACTIVITY BEYOND ENCLOSED AREAS. THERE SHALL BE NO ELECTRICAL DISTURBANCE ADVERSELY AFFECTING THE OPERATION AT ANY POINT OF ANY EQUIPMENT OTHER THAN THAT OF THE CREATOR OF SUCH DISTURBANCE. **SMOKE.** THE EMISSION OF SMOKE BY ANY USE SHALL BE IN COMPLIANCE WITH AND REGULATED BY THE APPROPRIATE FEDERAL, STATE OR LOCAL AGENCY.

**DUST OR OTHER PARTICULATE MATTER.** THE EMISSION OF DUST, FLY ASH OR OTHER PARTICULATE MATTER BY ANY USE SHALL BE IN COMPLIANCE WITH AND REGULATED BY THE APPROPRIATE FEDERAL, STATE OR LOCAL AGENCY. **ODORS.** THE EMISSION OF ODOR BY ANY USE SHALL BE IN COMPLIANCE WITH AND REGULATED BY THE APPROPRIATE FEDERAL, STATE OR LOCAL AGENCY.

**EXPLOSIVES.** NO ACTIVITIES INVOLVING THE STORAGE, UTILIZATION, OR MANUFACTURE OF MATERIALS OR PRODUCTS SUCH AS TNT OR DYNAMITE WHICH COULD DECOMPOSE BY DETONATION SHALL BE PERMITTED EXCEPT SUCH AS ARE SPECIFICALLY LICENSED BY THE CITY COUNCIL.

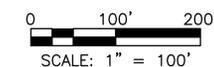
**NOISE.** ALL NOISE SHALL BE MUFFLED SO AS NOT TO BE OBJECTIONABLE DUE TO INTERMITTENCE, BEAT FREQUENCY OR SHRILLNESS AND AS MEASURED AT ANY PROPERTY LINE IN ACCORDANCE WITH THE DECIBEL LEVELS OUTLINED IN SECTION 106-310 OF THE CITY CODE OF ORDINANCES.

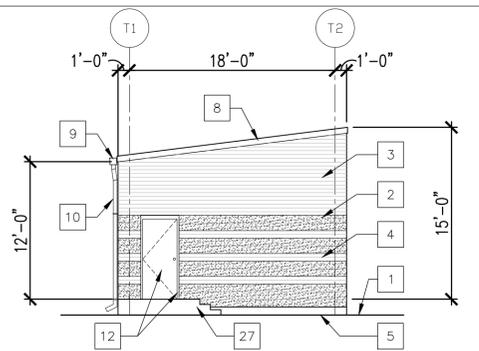


SEAL BY WILLIAM J. BOHLEN P.E.,  
LIC. 101552 IS FOR THE ADDITION  
OF THE FEMA FLOODPLAIN ZONE  
X BOUNDARY LINE, FLOOD NOTE  
AND HCFC D EASEMENT.

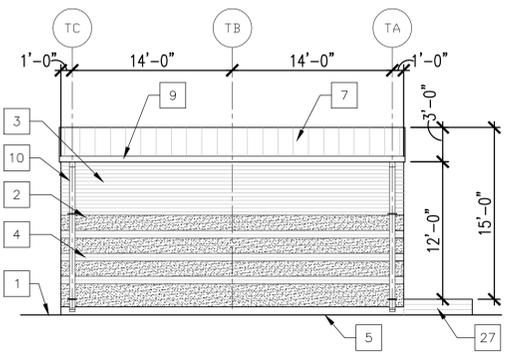
**SITE PLAN DATA TABLE - ENTRY GATE**

NAME OF DEVELOPMENT	PORT OF HOUSTON AUTHORITY-EXPANSION OF GATE FACILITIES AT BARBOURS CUT TERMINAL
TYPE OF DEVELOPMENT	TRANSPORTATION GATE FACILITY
LEGAL DESCRIPTION OF THE SITE	RES A BLK 1 PORT OF HOUSTON AUTHORITY
ADDRESS OF SITE AS ASSIGNED BY THE CITY	521-629 E. BARBOURS CUT BLVD. LA PORTE, TX 7757
SIZE OF LOT/PROPERTY, BUILDING, AND LOT COVERAGE PERCENTAGE	904,698 SF; 31,440 SF; 3.5%
ZONING OF THE SITE	XV - OTHER EXEMPT (GOVERNMENT)
NAME OF OWNER OR AUTHORIZED REPRESENTATIVE	PORT OF HOUSTON AUTHORITY, HARVEY ROSS
NAME OF DEVELOPER AND ENGINEER	DEVELOPER: PORT OF HOUSTON AUTHORITY; ENGINEER: ISAAC WINGFIELD, P.E.
HARRIS COUNTY APPRAISAL DISTRICT PROPERTY NUMBER/S	133-372-001-0001
NORTH AMERICAN INDUSTRY CLASSIFICATION SYSTEM NUMBER FOR USE OF THE PROPOSAL	488320: MARINE CARGO HANDLING
SQUARE FOOTAGE OF SITE PROPOSED TO BE DEVELOPED (INCLUDE ALL IMPROVEMENTS)	904,698 SF



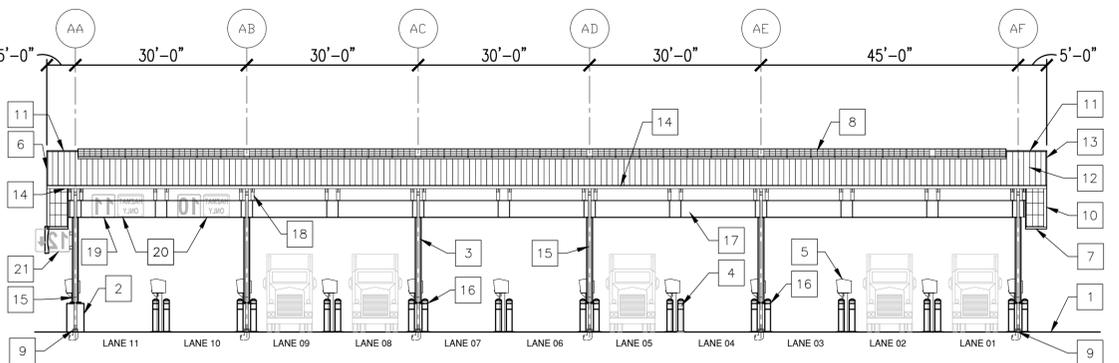


**1 IT / COMM BUILDING - WEST**  
1/8" = 1'-0"

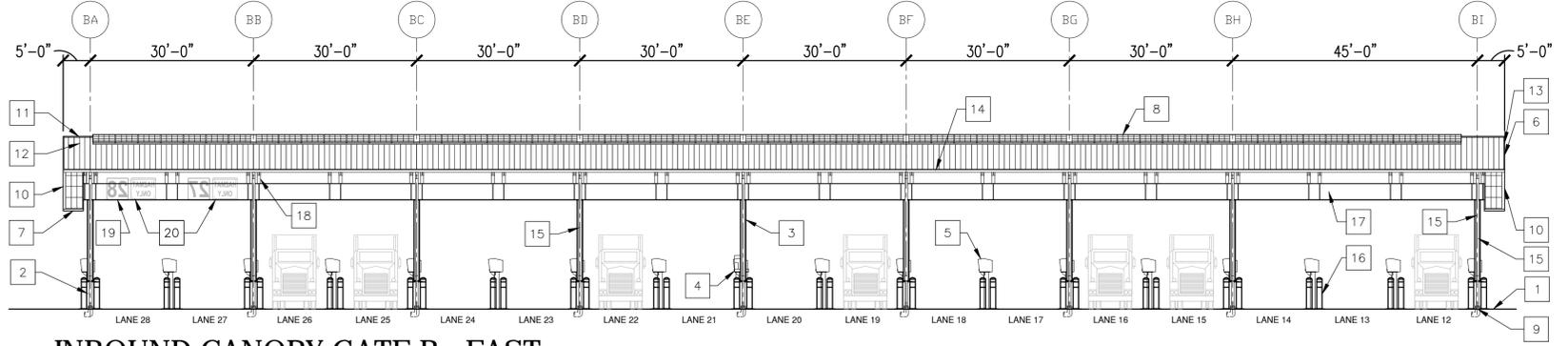


**2 IT / COMM BUILDING - NORTH**  
1/8" = 1'-0"

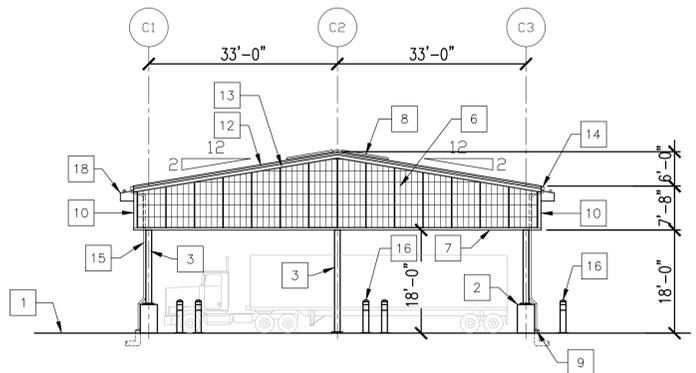
- KEYNOTES: IT/COMM BUILDING**
- 1 FINISH GRADE, REF: CIVIL DRAWINGS.
  - 2 8"x8" GLAZED CERAMIC BRICK, 2 COURSES HIGH TYP. SKY BLUE MOTTLE.
  - 3 3-5/8" EMPEROR HOLLOW BRICK VENEER, ARCTIC WHITE.
  - 4 3-5/8" EMPEROR HOLLOW BRICK VENEER, 2 COURSES, ARCTIC WHITE.
  - 5 P.I.P. CONCRETE FOUNDATION; REF: STRUCTURAL DRAWINGS.
  - 6 FULL HEIGHT METAL FASCIA, KYNAR FINISH.
  - 7 STANDING SEAM METAL ROOFING, KYNAR FINISH.
  - 8 METAL ROOF COPING; KYNAR FINISH.
  - 9 ALUMINUM GUTTER, 6"x6", KYNAR FINISH.
  - 10 ALUMINUM DOWNSPOUT, 6"x4", KYNAR FINISH.
  - 11 ALUMINUM LEADER BRACKETS, KYNAR FINISH.
  - 12 SCHEDULED HM DOOR AND FRAME; REF: FLOOR PLAN.
  - 13 GLAZED CERAMIC BRICK STARTED COURSE, 8" HIGH, SKY BLUE MOTTLE.
  - 14 GYPSUM BOARD FINISH ON STEEL STUDS W/BATT INSULATION.
  - 15 FULL HT. GYPSUM BOARD AND METAL STUD PARTITION; REF: FLOOR PLAN.
  - 16 LAY-IN ACOUSTICAL CEILING, 8'-0" AFF; REF: REFL. CEILING PLAN.
  - 17 STEEL BEAM; REF: STRUCTURAL DRAWINGS.
  - 18 STEEL BAR JOIST; REF: STRUCTURAL DRAWINGS.
  - 19 STANDING SEAM METAL ROOF OVER INSULATION BOARD ON STEEL DECK.
  - 20 SUSPENDED LINEAR LIGHTING FIXTURES; REF: ELECTRICAL DRAWINGS.
  - 21 LAY-IN LIGHT FIXTURES; REF: ELECTRICAL DRAWINGS.
  - 22 SCHEDULED BASE, REFER TO ROOM FINISH SCHEDULE.
  - 23 GALVANIZED BRICK TIES, SECURED TO STEEL FRAMING, 16" O.C. VERT.
  - 24 GYPSUM SHEATHING, 5/8" THICK W/ APPLIED MASTIC DAMPROOFING.
  - 25 FULL THICK BATT INSULATION, 6", R-19.
  - 26 GYPSUM BOARD INTERIOR FINISH, 5/8" THICK (TYP), ON EXTERIOR METAL STUD WALL, 6", AT 16" O.C. (TYP).
  - 27 CONCRETE DECK AND CONCRETE STEPS.



**3 INBOUND CANOPY GATE A - EAST**  
1/16" = 1'-0"



**4 INBOUND CANOPY GATE B - EAST**  
1/16" = 1'-0"

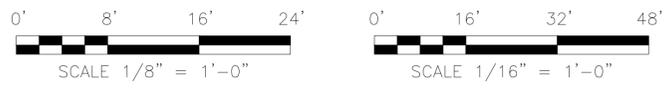


**5 INBOUND CANOPY (TYPICAL) - NORTH**  
1/16" = 1'-0"

- KEYNOTES: INBOUND CANOPY (TYPICAL)**
- 1 CONCRETE PAVING; REF: CIVIL SHEET C-021 & C-022.
  - 2 CONC. FOUNDATION PIER, 36" DIA. TO 5'-0" ABOVE GRADE; REF: STRUCT.
  - 3 STEEL TUBE COLUMNS, HSS 12"x12"
  - 4 NOT USED
  - 5 NOT USED
  - 6 UN-INSULATED TRANSLUCENT WALL PANELS, 2-3/4" THK., NOM. 5' WIDE.
  - 7 HORIZ. STEEL TUBE SUPPORT FRAME, HSS 10"x4", PAINTED.
  - 8 UN-INSULATED TRANSLUCENT ROOF PANELS, 2-3/4" THK., NOM. 4' WIDE.
  - 9 CONNECT DOWNSPOUTS TO STORM PIPE; REF: CIVIL SHT. C-612.
  - 10 PREFINISHED COVER OVER STEEL TUBE CORNER SUPPORT, HSS 8"x8".
  - 11 FACTORY FINISHED VENTED METAL RIDGE CAP.
  - 12 FACTORY FINISHED R-PANEL METAL ROOFING, 36" WIDE PANELS TYP.
  - 13 FACTORY FINISHED SLOPED METAL RAKE TRIM.
  - 14 FACTORY FINISHED FORMED METAL GUTTER; BREAK AT CONST. JOINT.
  - 15 FACTORY FINISHED METAL DOWNSPOUT AND BRACKETS.
  - 16 12" DIA. STEEL PIPE BOLLARDS, 5'-9" HIGH, TYPICAL.
  - 17 HORIZ. STEEL GIRDERS, 36" DEEP, GALVANIZED.
  - 18 FABRICATED STEEL BEAMS WITH LIFTING LUGS, GALVANIZED.
  - 19 PAINTED METAL SIGN FOR LANE NUMBER, 48"x48", ON STEEL FRAME, CENTER SIGNAGE OVER LANE (TYP).

- KEYNOTES: INBOUND CANOPY GATE A**
- 1 CONCRETE PAVING; REF: CIVIL SHEET C-021 & C-022.
  - 2 CONC. FOUNDATION PIER, 36" DIA. TO 5'-0" ABOVE GRADE; REF: STRUCT.
  - 3 STEEL TUBE COLUMNS, HSS 12"x12"
  - 4 CAMERA POLE; REF: CIVIL DRAWINGS.
  - 5 COMMUNICATIONS PEDESTAL; REF: CIVIL DRAWINGS.
  - 6 UN-INSULATED TRANSLUCENT WALL PANELS, 2-3/4" THK., NOM. 5' WIDE.
  - 7 HORIZ. STEEL TUBE SUPPORT FRAME, HSS 10"x4", PAINTED.
  - 8 UN-INSULATED TRANSLUCENT ROOF PANELS, 2-3/4" THK., NOM. 4' WIDE.
  - 9 CONNECT DOWNSPOUTS TO STORM PIPE; REF: CIVIL SHT. C-612.
  - 10 PREFINISHED COVER OVER STEEL TUBE CORNER SUPPORT, HSS 8"x8".
  - 11 FACTORY FINISHED VENTED METAL RIDGE CAP.
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  - 16 12" DIA. STEEL PIPE BOLLARDS, 5'-9" HIGH, TYPICAL.
  - 17 HORIZ. STEEL GIRDERS, 36" DEEP, GALVANIZED.
  - 18 FABRICATED STEEL BEAMS WITH LIFTING LUGS, GALVANIZED.
  - 19 PAINTED METAL SIGN FOR LANE NUMBER, 48"x48", ON STEEL FRAME, CENTER SIGNAGE OVER LANE (TYP); REF: 4/A-015.
  - 20 PAINTED METAL SIGN "HAZMAT ONLY", 60"x48", ON STEEL FRAME.
  - 21 PAINTED METAL SIGN FOR OVERSIZE LANE NUMBER WITH ARROW, 72"x48", ON STEEL FRAME, ATTACHED TO STEEL TUBE COLUMN.

- KEYNOTES: INBOUND CANOPY GATE B**
- 1 CONCRETE PAVING; REF: CIVIL SHEET C-021 & C-022.
  - 2 CONC. FOUNDATION PIER, 36" DIA. TO 5'-0" ABOVE GRADE; REF: STRUCT.
  - 3 STEEL TUBE COLUMNS, HSS 12"x12"
  - 4 CAMERA POLE; REF: CIVIL DRAWINGS.
  - 5 COMMUNICATIONS PEDESTAL; REF: CIVIL DRAWINGS.
  - 6 UN-INSULATED TRANSLUCENT WALL PANELS, 2-3/4" THK., NOM. 5' WIDE.
  - 7 HORIZ. STEEL TUBE SUPPORT FRAME, HSS 10"x4", PAINTED.
  - 8 UN-INSULATED TRANSLUCENT ROOF PANELS, 2-3/4" THK., NOM. 4' WIDE.
  - 9 CONNECT DOWNSPOUTS TO STORM PIPE; REF: CIVIL SHT. C-612.
  - 10 PREFINISHED COVER OVER STEEL TUBE CORNER SUPPORT, HSS 8"x8".
  - 11 FACTORY FINISHED VENTED METAL RIDGE CAP.
  - 12 FACTORY FINISHED R-PANEL METAL ROOFING, 36" WIDE PANELS TYP.
  - 13 FACTORY FINISHED SLOPED METAL RAKE TRIM.
  - 14 FACTORY FINISHED FORMED METAL GUTTER; BREAK AT CONST. JOINT.
  - 15 FACTORY FINISHED METAL DOWNSPOUT AND BRACKETS.
  - 16 12" DIA. STEEL PIPE BOLLARDS, 5'-9" HIGH, TYPICAL.
  - 17 HORIZ. STEEL GIRDERS, 36" DEEP, GALVANIZED.
  - 18 FABRICATED STEEL BEAMS WITH LIFTING LUGS, GALVANIZED.
  - 19 PAINTED METAL SIGN FOR LANE NUMBER, 48"x48", ON STEEL FRAME, CENTER SIGNAGE OVER LANE (TYP).
  - 20 PAINTED METAL SIGN "HAZMAT ONLY", 60"x48", ON STEEL FRAME.
  - 21 PAINTED METAL SIGN FOR "OVERSIZE LOADS", 60"x48", ON STEEL FRAME.
  - 22 CONCRETE BARRIER; REF: SHEET G-218



**PORT OF HOUSTON AUTHORITY**

CONSULTANT:  
**HATCH**  
HATCH ASSOCIATES  
CONSULTANTS, INC.  
750 TOWN & COUNTRY BLVD., SUITE 650  
HOUSTON, TX 77024  
TEL: 713.467.9951 | WEB: www.hatch.com  
TYPE No. 314

SUBCONSULTANT:  
**STOIA**  
ARCHITECTS  
6001 SAVOY DRIVE, SUITE 100  
HOUSTON, TX 77036  
TEL: 713.995.8724 | FAX: 713.995.8705  
WEB: www.stoiaint.com



PROJECT TITLE:  
**EXPANSION OF GATE FACILITIES AT BARBOURS CUT TERMINAL**

SHEET TITLE:  
**ENTRY GATE: ARCHITECTURAL LAYOUTS**

REV	DATE	DESCRIPTION
A	6/4/19	FOR PERMITTING

DESIGNER:	RP
CADD:	VG
CHECKER:	GS
DATE:	06/04/19
SCALE:	AS NOTED

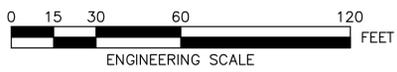
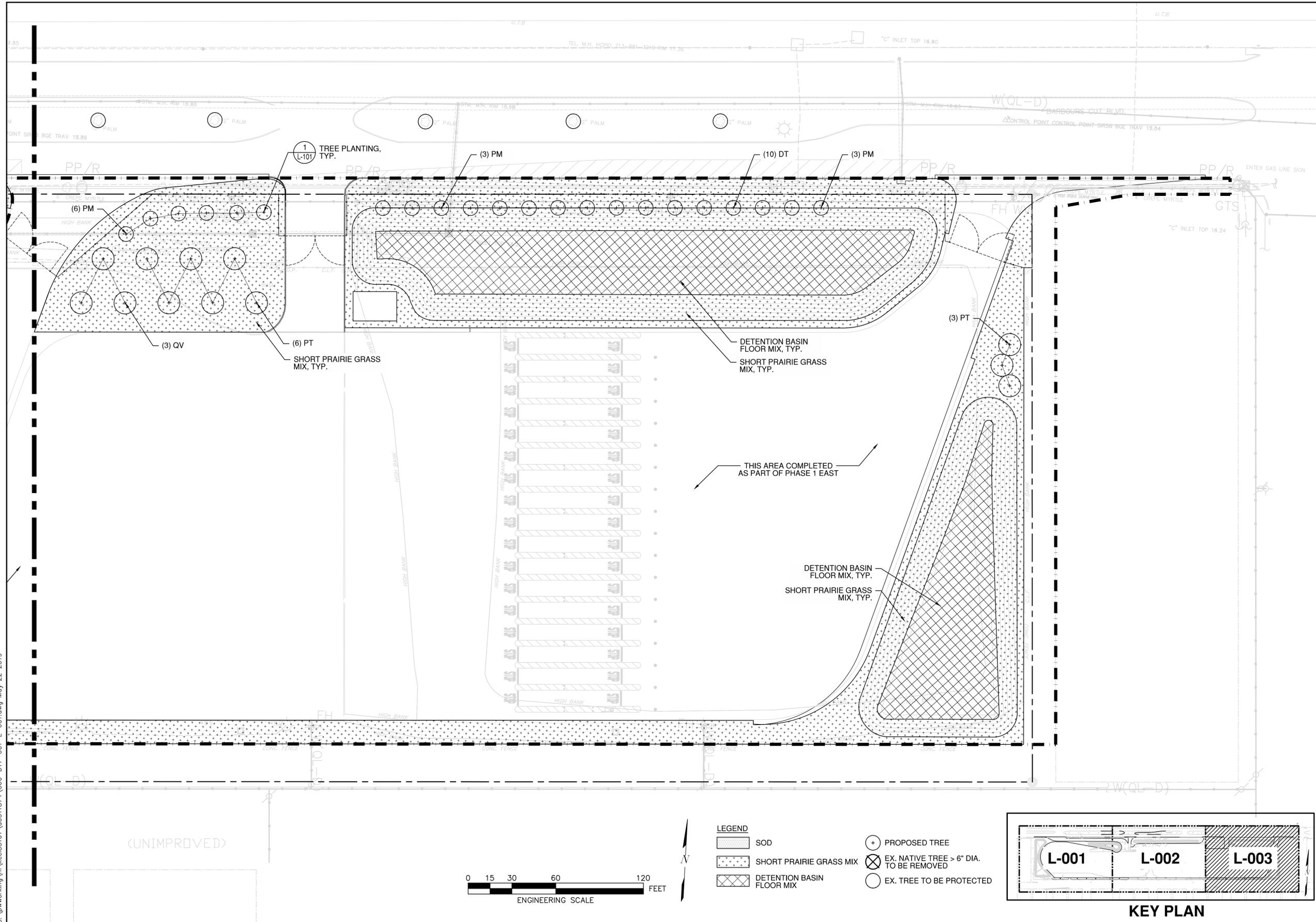
DRAWING NO. <b>C60-D17-001</b>	
SHEET NO. <b>AP-001</b>	REV. NO. <b>A</b>

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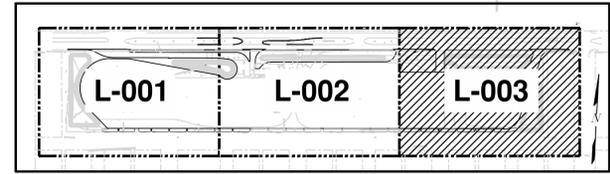




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- LEGEND**
- SOD
  - SHORT PRAIRIE GRASS MIX
  - DETENTION BASIN FLOOR MIX
  - PROPOSED TREE
  - EX. NATIVE TREE > 6" DIA. TO BE REMOVED
  - EX. TREE TO BE PROTECTED



**KEY PLAN**



**PORT OF HOUSTON AUTHORITY**

CONSULTANT:  
**HATCH**  
 HATCH ASSOCIATES  
 CONSULTANTS, INC.  
 750 TOWN & COUNTRY BLVD., SUITE 650  
 HOUSTON, TX 77024  
 TEL: 713.467.9961 | WEB: www.hatch.com  
 TSP# No. 314 TBAE No. 3547  
 SUBCONSULTANT:



PROJECT TITLE:  
**EXPANSION OF GATE FACILITIES AT BARBOURS CUT TERMINAL**

SHEET TITLE:  
**LANDSCAPE PLAN**

REV	DATE	DESCRIPTION
A	6/3/19	ISSUED FOR BID

DESIGNER: JB  
 CADD: AK, CP  
 CHECKER: DB  
 DATE: 5/10/19  
 SCALE: 1" = 30'

DRAWING NO.  
**C60-D17-001**  
 SHEET NO. REV. NO.  
**L-003 A**

**PLANTING NOTES:**

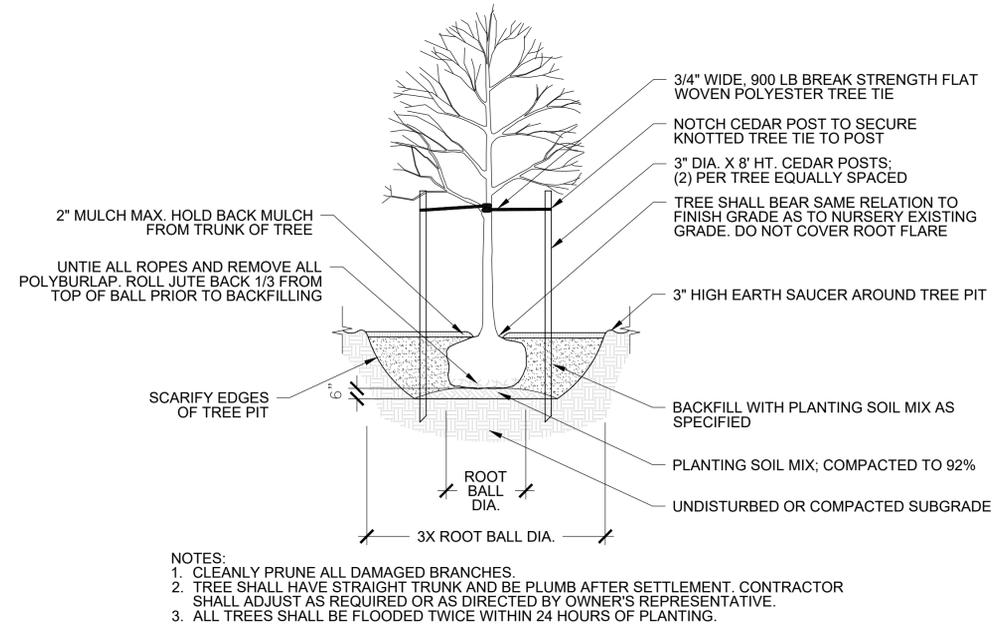
- SUBSTITUTIONS OF PLANT SPECIES SHALL NOT BE PERMITTED. IN CASES WHERE INDIVIDUAL SPECIES ARE NOT COMMERCIALY AVAILABLE, QUANTITIES WILL BE MADE UP WITH ANOTHER SPECIES IN THE PLANT SCHEDULE AFTER WRITTEN APPROVAL BY THE OWNER'S REPRESENTATIVE.
- ALL SPECIES SHALL BE STRAIGHT SPECIES; NO CULTIVARS SHALL BE USED, UNLESS OTHERWISE NOTED AND APPROVED IN ADVANCE BY OWNER'S REPRESENTATIVE.
- ALL PLANT MATERIAL SHALL CONFORM TO THE MINIMUM GUIDELINES ESTABLISHED FOR NURSERY STOCK PUBLISHED BY THE AMERICAN HORTICULTURE INDUSTRY ASSOCIATION. IN ADDITION, ALL NEW PLANT MATERIAL FOR THE PROJECT SHALL BE OF SPECIMEN QUALITY.
- TO ENSURE AVAILABILITY AND SECURE QUANTITIES OF SPECIFIED PLANT MATERIALS, CONTRACTOR SHALL MAKE ARRANGEMENTS WITH NURSERY(IES) AND OWNER WITHIN THIRTY (30) DAYS OF AWARD OF CONTRACT (SEE SPECIFICATION SECTION 32 90 00 - LANDSCAPING).
- CONTRACTOR SHALL SUPPLY ALL NEW PLANT MATERIAL IN QUANTITIES SUFFICIENT TO COMPLETE THE PLANTING PLAN AS SHOWN ON DRAWINGS.
- NO PLANT MATERIAL SHALL BE PLANTED BEFORE ACCEPTANCE OF FINAL GRADING AND SLOPE TREATMENTS BY THE OWNER'S REPRESENTATIVE.
- WATERING OF INSTALLED PLANTS AND SEEDED AREAS, EITHER THROUGH THE TEMPORARY IRRIGATION SYSTEM OR BY HAND, SHALL OCCUR WITHIN 24 HOURS OF THE FIRST DAY OF PLANTING OR SEEDING AND CONTINUE AS OUTLINED IN THE CONTRACT DOCUMENTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACING ALL DAMAGED, STOLEN, DEAD, DECLINING OR LOST MATERIAL UNTIL THE COMPLETION OF THE MAINTENANCE AND GUARANTEE PERIODS AS OUTLINED IN THE CONTRACT DOCUMENTS.
- ALL PLANT MATERIAL SHALL BE NURSERY GROWN. NO FIELD-COLLECTED SPECIMENS WILL BE ALLOWED.
- ALL NEW PLANTS SHALL BE B&B, UNLESS OTHERWISE NOTED ON THE PLANT SCHEDULE.
- ALL NEW PLANTS SHALL BE TAGGED AND APPROVED BY THE OWNER'S REPRESENTATIVE AT THE NURSERY PRIOR TO DELIVERY TO THE SITE. TAGGING OF REPRESENTATIVE SAMPLES OF SHRUBS AND HERBACEOUS MATERIAL MAY BE ACCEPTABLE WITH PRIOR APPROVAL BY OWNER'S REPRESENTATIVE.
- ALL AREAS TO BE SEEDED AND SODDED SHALL RECEIVE SOIL PREPARATION AS SPECIFIED PRIOR TO SEEDING /SODDING, UNLESS OTHERWISE NOTED ON PLAN.

QTY.	SYM.	SCIENTIFIC NAME	COMMON NAME	PLANT SIZE (MIN.)	CONTAINER TYPE
Shade Trees					
7	QV	Quercus virginiana	Live Oak	2" CAL.	B&B
Evergreen Trees					
9	PT	Pinus taeda	Loblolly Pine	2" CAL.	B&B
Palm Trees					
3	SP	Sabal palmetto	Cabbage Palm	12' HT	B&B
Ornamental Trees					
27	DT	Diospyros texana	Texas Persimmon	2" CAL.	B&B
36	PM	Prunus mexicana	Mexican Plum	2" CAL.	B&B
89	TOTAL				
SYMBOL	NAME	SEEDING RATE			
Seed Mixes					
	Short Prairie Grass Mix	30 lbs/acre (.7 lbs/1,000sf)			
	Detention Basin Floor Mix	30 lbs/acre (.7 lbs/1,000sf)			
	Sod	N/A			

**NOTES:**

- Require landscape area vs. amount provided:
  - Minimum required landscape area = 2.08 acres (10% total parcel coverage)
  - Landscape area provided = 5.29 acres (25.5%)
- Tree totals:
  - Total trees to be removed (greater than 6" diameter) = 10 trees (one tree in median along Barbours Cut Blvd.)
  - Shrublike Crepe myrtles to be removed (<6' ht.) = Approx. 32
  - Total trees to be retained = 0 trees
  - Total trees to be added = 89 trees (three trees in median along Barbours Cut Blvd.)
  - Total trees on site = 86 trees

**2 PLANT SCHEDULE**  
SCALE: N/A



**1 TREE PLANTING**  
SCALE: AS SHOWN



**PORT OF HOUSTON AUTHORITY**

CONSULTANT:  
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750 TOWN & COUNTRY BLVD. | SUITE 650  
HOUSTON, TX 77024  
TEL: 713.467.9961 | WEB: www.hatch.com  
TBE No. 314-TBAE No. 0542



PROJECT TITLE:  
**EXPANSION OF GATE FACILITIES AT BARBOURS CUT TERMINAL**

SHEET TITLE:  
**PLANTING DETAILS**

REV	DATE	DESCRIPTION
A	6/3/19	ISSUED FOR BID
B	8/27/19	ISSUED FOR BID

DESIGNER: JB  
CADD: AK, CP  
CHECKER: DB  
DATE: 5/10/19  
SCALE: AS NOTED

DRAWING NO.  
**C60-D17-001**  
SHEET NO. **L-101** REV. NO. **B**



**EXHIBIT B**

# AERIAL MAP

**MDSP #19-83000003**

 Subject Parcel



This product is for informational purposes and may not have been prepared for or be suitable for legal purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries

1 inch = 432 feet

OCTOBER 2019  
PLANNING DEPARTMENT





# Major Development Site Plan Application

Planning and Development Department

### PROJECT INFORMATION

Property address, if known: 521-629E. Barbours cut Blvd. La Porte, TX 77571

Legal description of site: 20.7 acre tract being legally described as Reserve A, Block 1, Port of Houston Authority, La Porte, Harris County, Texas of the Johnson Hunter League, A-35 City of La Porte, Harris County TX

HCAD Parcel Number/s of site: 133-372-001-0001

Zoning District: Planned Unit Development Lot area: 20.7 acre

Attach to this application a Project Description Letter that describes in detail the proposed development.

### PROPERTY OWNER(S) INFORMATION

Name: Richard Byrnes

Company (if applicable): Port of Houston Authority

Address: 111 East Loop North

City: Houston State: Texas Zip: 77029

Phone: 713 670 2676 Email: rbyrnes@poha.com

### AUTHORIZED AGENT (If other than owner)

Name: R

Company (if applicable): \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

Phone: \_\_\_\_\_ Email: \_\_\_\_\_

### OWNER(S) & AGENT CERTIFICATION

I hereby depose and state under the penalties of perjury that all statements, proposals and/or plans submitted with/or contained in this application are true and correct and the application is complete to the best of my knowledge and belief.

Agent's Signature: \_\_\_\_\_ Date: \_\_\_\_\_

Owner(s)' Signature(s): RNB Date: 6/17/19

#### STAFF USE ONLY:

Case Number: \_\_\_\_\_

Date Application Received: \_\_\_\_\_

THE PORT OF HOUSTON AUTHORITY OF HARRIS COUNTY, TEXAS, as Owner of the 20-acre tract described in the above and foregoing site plan of Expansion of Gate Facilities at Barbours Cut Terminal (Drawing No: C60-017-001) does hereby establish said development of said property according to all lines, dedications, restrictions and notations on said site plan. Owner further certifies that all improvements shown on said site plan shall be constructed in the locations shown.

FURTHER, Owner agrees to keep all of the property within the boundaries of this site plan and adjacent to any drainage easement, ditch, drainage ways and easements clear of fences, buildings, planting and other obstructions to the operations and maintenance of the drainage facility and that such abutting property shall not be permitted to drain directly into this easement except by means of an approved drainage structure.

FURTHER, Owner agrees that those streets and utilities located within the boundaries of this site plan specifically noted as private shall be maintained as private streets and utilities by the owner, heirs, successors and assigns and, further, that said private streets shall always be available for the general use of the public for firemen, firefighting equipment, police and other emergency vehicles of whatever nature at all times, to the extent such services are applicable to the property.

In TESTIMONY WHEREOF, THE PORT OF HOUSTON AUTHORITY OF HARRIS COUNTY, TEXAS, has caused these presents to be signed by Roger Guenther, its Executive Director thereunto authorized, attested by its Secretary, Erik Eriksson, and its common seal hereunto affixed by this 17<sup>th</sup> day of June, 2019.

Port of Houston Authority of Harris County, Texas

By:   
Roger Guenther  
Executive Director

ATTEST:  
By:   
Erik Eriksson  
Secretary



**City of La Porte, Texas  
Planning and Zoning Commission**



**October 17, 2019**

## **AGENDA ITEM 12a**

- a. Mixed Use Project at Wharton Weems and SH 146

*Ian Clowes, City Planner  
Planning and Development Department  
City of La Porte, Texas*



PO BOX 130045 | The Woodlands, TX | 77393  
832.316.5434 | wellsholdingsinc.com

September 16, 2019

Teresa Evans  
Director, Planning and Development Department  
City of La Porte  
604 W. Fairmont Parkway  
La Porte, TX 77571

**RE: Special Conditional Use Permit Application  
Mixed Use Development of ±53 Acres at the NEC of SH 146 and Wharton Weems**

We respectfully submit this letter along with the Special Conditional Use Permit and General Plan for a mixed use development on ±53 acres on SH 146 at Wharton Weems. This development, located on the North East Corner of SH 146 and Wharton Weems, presents a unique window of opportunity to create a high visibility mixed use development in the City of La Porte. The property is currently zoned as PUD, which requires approval of a Special Conditional Use Permit and General Plan prior to development.

Purchase of the tract is contingent upon approval of this General Plan and Special Conditional Use Permit. Should this plan not be approved, the tract will continue in its vacant and under-utilized state.

**Mixed-use Development Description**

A mixed-use development is designed to endure and in the Houston metro area they have proven over many years to appreciate in value more than typical commercial developments. Restrictions and controls set in place result in higher and more stable property values, an important benefit for the City of La Porte.

Providing a range of single family home products, higher density multifamily, hospitality and neighborhood servicing commercial uses, this mixed-use development will primarily service the local area. Underlying these uses, the project will have a unified method of development controls whereby architecture, landscape, and street scape will work together to form a visually appealing theme to the development. In order to ensure longevity, both a commercial association and a residential homeowners association will be created to enforce deed restrictions and diligently maintain common areas for the long term.

The development will consist of the land uses shown in Table 1:

**Table 1**

<b>Land Use</b>	<b>Acreage*</b>
Single-Family	2.08
Town home	2.01
Multi-Family	12.94
Hotel/Meeting	4.86
Neighborhood Commercial	14.64
Parks	0.72
Drainage/Detention	15.06
Public Street	4.4
<b>Total</b>	<b>56.71</b>

*\*Acreages may vary*

Mixed-use developments require an imbedded residential component in order to create a rich community atmosphere. A residential component mixed with commercial in a master planned development approach garners a symbiotic relationship with one use benefitting the other. The range of lot and home types appeals to a broad range of the population and provides opportunities for buyers at various stages of their home-ownership cycle to purchase or move up within the community. Multi-Family options are an important and often forgotten part of the housing life-cycle and contribute to the community's character.

Commensurate with other quality master planned communities, the community will consist of the single-family lot sizes shown in Table 2:

**Table 2**

<b>Lot Dimension</b>	<b>Number</b>	<b>Percentage*</b>
41' x 100'	20	34.5%
24' x 83'	38	65.5%
<b>Total</b>	<b>58</b>	<b>100.0%</b>

*\*Percentages may vary*

Some flexibility is required in order to allow mixed-use developments to respond to market changes and avoid stagnation. In order to ensure flexibility, we request that a) the exact percentages in Table 2 and the acreages in Table 1 may vary by 5%; b) the placement of lot sizes within different pods of the development as proposed on the attached schematic plan and General Plan may shift or change places as needed; and c) the placement and exact boundaries between the commercial, multi-family tracts may shift to accommodate vertical development site planning. In addition to these acreages, the number of multifamily units may not exceed 325 units. Exact unit count will be determined upon site planning and market forces. Finally, the development will hold to the metrics proposed by the requested Variances included in this document.

## **Park, Recreation, and Landscaping Enhancements**

To fully maximize the property value enhancements provided by the mixed use development opportunity, the park and landscaping facilities provided in the community need to be of a type and caliber desired by discerning home buyers and residents.

Walking trails are the number one attraction of homebuyers in the Houston region. Aside from the standard neighborhood sidewalks, the proposed development includes connectivity amongst the various uses in order to provide better overall pedestrian circulation throughout the development and enabling residents to easily walk to the neighborhood servicing retail. The walking trails around the detention basin and sidewalks along Wharton Weems are proposed to be 5'-wide (five-foot wide) concrete trails/sidewalks. These trails/sidewalks and the other open spaces throughout the community will be landscaped to meet and exceed the established landscaping minimums, utilized as a buffer between uses, and to provide a scenic backdrop and cohesive landscape throughout the community via a range of tree and plant species, in varying sizes which are well adapted and have proven to do well in the La Porte area.

In addition to a passive park complete with benches and a passive play area for children, the single family homes will have immediate access to the walking trails via the cul-de-sac with ease of access to all the public amenities. Typical amenities integrated within the multifamily include a clubhouse with business center, meeting rooms, fitness center, demonstration kitchen and package locker systems. Outside, the multi family typically includes a resort style pool with cabana and BBQ areas, a pet washing station and interconnected sidewalks.

With immediate proximity to public amenities such as the Bay Forest Golf Course and within walking distance to the Little Cedar Bayou wave pool, citizens have a unique opportunity for connectivity within this and neighboring developments.

## **Future Land Use Plan Compliance**

The City of La Porte Future Land Use Plan depicts this tract as Commercial and Low density Residential. The proposed mix of single family detached homes, townhomes and multifamily units are consistent with the PUD zoning designation and the stated goals of the Comprehensive Plan regarding life-cycle housing options in new developments.

Accordingly, the commercial at the corner is consistent with the FLUP, and it is requested that a neighborhood commercial designation be expanded to include all of the frontage along SH146.

## **Commercial Uses**

Proposed Commercial uses along the frontage of SH 146 will include uses permitted by right within the neighborhood commercial zoning classification. These uses cater primarily to the consumer for goods and services. These uses to include, but not limited to, full service restaurants (to include alcohol sales), minor emergency healthcare, consumer servicing office uses, limited and full-service hotel. Uses that will be excluded include funeral homes, cemeteries and crematories, coin operated or self-service laundry facilities, dry cleaning or laundry service plants (retail drop off permitted), businesses that derive 51% of revenues from the sale of tobacco products, rooming and boarding houses such as dormitories and worker's camps, consumer related storage facilities including recreational vehicles and boats.

## Variations

To achieve the qualities desired by users, homebuyers, visitors and the city for mixed-use master planned developments in the Houston metro areas, three categories of zoning code variations are required and included in this SCUP application (see next page). Proposed variations to the street design standards specified in the Public Improvement Criteria Manual are listed at the end of this section for reference.

### 1. Single-Family Lot Size (Chapter 106, Section 106-333)

Category	Code Section	Code Minimum	Proposed Minimum	Proposed PUD Standard
Minimum Lot Width	Sec. 106-333, Table B	50 feet	41 feet	At build-out of all lots, the average lot width will meet or exceed 40 feet
Minimum Lot Area	Sec. 106-333, Table B	6,000 sq. ft.	4,100 sq. ft	At build-out of all lots, the average lot area will meet or exceed 4,100 sq. ft.

#### Purpose/Justification:

Successful communities provide multiple lot sizes and home styles attractive to residents across multiple stages of the housing life-cycle. The 41'-wide lot allows for a 30'-wide building footprint, which produces a home size that is very popular in the leading master planned communities and appealing for first-time or younger home buyers as well as retirees or those seeking a "lock and leave" home. By providing these lot sizes in this community, the opportunity for individuals and families to move in and move up within the same community is created.

At a minimum lot depth of 100 feet, the lots (41'-wide) will have a lot area of 4,100 square feet. Providing a range of housing products creates a more stable and resilient community while still achieving the City's overall density goals.

### 2. Single-Family Building Lines (Chapter 106, Section 106-333)

Category	Code Section	Code Minimum	Proposed Minimum
Front Building Line	Sec. 106-333, Table B	25' front BL	20' front BL

#### Purpose/Justification:

A 20' front building line is consistent with most cities and counties in the greater Houston area, especially around culs-de-sac and the "eyebrows"/"knuckles" of right-angle corners. The reduced building line still allows sufficient room for the sidewalk and underground utilities, while balancing the home within the lot between front and back yards. Enabling a 20' deep front yard and a 10' deep back yard.

3. Multi-Family (Chapter 106, Section 106-333)

Category	Code Section	Code Maximum	Proposed Maximum	Proposed PUD Standard
Density	Table B	20 Units/Acre	25 Units/Acre	Density will not exceed 25 units/acre
Maximum Units	Table B	258	350 <i>325</i>	Total number of units will not exceed 350
Distance between MF	Table B	1000'	300'	Distance between MF be reduced to 300'

Purpose/Justification:

The multi-family complex is another component in the mix of housing types within a mixed use development, providing a key component in the housing life-cycle for young people who are not yet ready to own a home, and retirees who may require assistance or desire companionship in their day-to-day lives. The residents of the proposed multi-family complex will be able to enjoy the adjacent trail, park and public facilities in addition to the required on-site landscaping and open space, in addition to the amenities that may be provided internally to the multifamily complex.

Multi-family complexes that have proven to be successful in the long term require a certain size and density to create the economies of scale necessary to promote long term stability and maintenance. Additionally, the economies created with facilities of this size generate the revenue necessary to ensure that routine maintenance and long-term capital reinvestment can be funded, which is critical to prevent blight associated with decline of the community.

Low-density multi-family complexes do not generate adequate revenue to support full time on-site management and maintenance, nor can they support the level of amenities necessary to maintain the facility as a desirable location. Such multi-family complexes may succeed in the short term, but in the long term they will be unable to maintain their quality and character. Longevity and rejuvenation of housing stock are core concepts of the Comprehensive Plan and are vital to creating a successful and long-lasting community.

Public Improvement Criteria Manual Variances

These requested variances are to include, but are not limited to: a) a reduction in minimum right of way widths for the local/neighborhood streets from 80' to 60' for internal commercial road; b) intersection offsets; and c) cul-de-sac geometry and minimum radii.

## Conclusion

This SCUP and General Plan constitute the highest and best possible use for this site and will create a high value mixed use development for the City of La Porte. Absent this approval, the site will likely remain dormant for the foreseeable future.

The La Porte Zoning Ordinance cites the following three criteria for approval of a Special Conditional Use Permit:

1. *The specific use will be compatible with and not injurious to the use and enjoyment of other property, nor significantly diminish or impair property values within the immediate vicinity.*

Response: The proposed location and land uses within the general plan are compatible with or complimentary to the existing surrounding uses. The proposed land plan is generally consistent with the City's Future Land Use Plan. Property values in mixed use developments are historically higher than values in typical stand-alone developments and grow and retain value better over time and through economic cycles.

2. *The conditions placed on such use as specified in each district have been met by the applicant.*

Response: The conditions stipulated within the SCUP and General Plan will be adhered to by the developer and will be enforced by City staff during the platting, subdivision construction, and building permit phases of the project.

3. *The applicant has agreed to meet any additional conditions imposed, based on specific site constraints and necessary to protect the public interest and welfare of the community.*

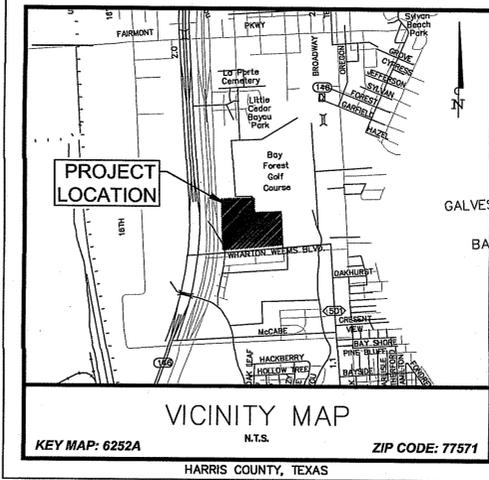
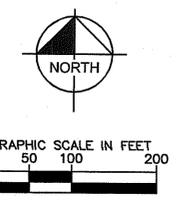
Response: The developer will comply with all city codes, except as consistent with variances granted herein, during the platting, subdivision construction, and building permit phases of the project.

Based on the conditions included within this SCUP application, approval of this General Plan conforms to the City's Comprehensive Plan and meets the criteria for approval. We respectfully request your review and favorable consideration of this request. Please let us know if you have any questions or require any additional information.

Regards,

Matthew J. Wells  
President

Plotted By: Jordan, Walt Sheet: Sat:Kha Layout: Layout1 September 12, 2019 05:51:22pm K:\VPL\Civil\051300903-Venterra-La Porte\DWG\Exhibits\20190912 - General Plan Exhibit\20190912 - General Plan Exhibit.dwg  
 This document, together with the concepts and designs presented herein, is an instrument of service, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



ACREAGE TABLE	
ACREAGE	DESCRIPTION
2.08	SF-1: SINGLE-FAMILY RESIDENTIAL LOTS (LOTS 1 - 20)
12.94	MULTI-FAMILY
2.01	SF-2: TOWN HOME LOTS (38 LOTS)
4.88	HOTEL/MEETING
2.08	COMMERCIAL A
1.21	COMMERCIAL B
1.20	COMMERCIAL C
1.20	COMMERCIAL D
1.18	COMMERCIAL E
1.15	COMMERCIAL F
2.17	COMMERCIAL G
4.45	COMMERCIAL H
PUBLIC R.O.W., OPEN SPACE AND DETENTION	
2.11	RESIDENTIAL PUBLIC STREET
2.29	COMMERCIAL PUBLIC STREET
15.06	DETENTION
0.41	PARK A
0.18	PARK B
0.13	PARK C

CURVE TABLE					
C#	RADIUS	DELTA	LENGTH	CHORD BEARING	CHORD DISTANCE
C1	5906.03'	6°44'36"	695.10'	N 03°23'26" E	694.70'
C2	55.00'	96°14'38"	92.39'	N 41°23'14" W	81.90'

A GENERAL PLAN OF  
**LA PORTE MIXED USE**  
 ± 56.7 ACRES OF LAND

**TRACT 1:**  
 BEING A 14.7065 ACRE TRACT (640,619 SQUARE FEET) TRACT OF LAND IN THE TOWN OF LA PORTE (VOL. 60, PG. 112, ET SEQ. HARRIS COUNTY DEED RECORDS), W. P. HARRIS SURVEY, A-30, LA PORTE, HARRIS COUNTY, TEXAS.

**TRACT 2:**  
 BEING A 42.0058 ACRE (1,829,774 SQUARE FEET) TRACT OF LAND IN THE TOWN OF LA PORTE (VOLUME 60, PAGE 112 HARRIS COUNTY DEED RECORDS), JOHNSON HUNTER SURVEY, A-35, AND W. P. HARRIS SURVEY, A-30, LA PORTE, HARRIS COUNTY, TEXAS.

DEVELOPER:  
**WELLS HOL**  
 Contact: Matthew Wells  
 P.O. Box 130045  
 The Woodlands, Texas 77393  
 832.316.5434

WILL REQUIRE  
 CHANGE TO  
 FLUP

CIVIL ENGINEER:  
**Kimley»Horn**  
 Contact: Steven Freeman  
 1400 Woodloch Forest Drive, Suite 225  
 The Woodlands, Texas 77390  
 281-475-2816  
 State of Texas Registration No. F-928

**Kimley»Horn**  
 © 2019 KIMLEY-HORN AND ASSOCIATES, INC.  
 1400 WOODLOCH FOREST DRIVE, SUITE 225  
 THE WOODLANDS, TX 77390  
 PHONE: 281-475-2816  
 TBS# FIRM REGISTRATION F-928  
 WWW.KIMLEY-HORN.COM

KHA PROJECT	061300903
DATE	09/12/2019
SCALE	AS SHOWN
DESIGNED BY	DOC
DRAWN BY	WJD
CHECKED BY	SCF

**GENERAL PLAN**

**LA PORTE MIXED USE  
WELLS HOLDING, INC.**

SHEET NUMBER

No.	REVISIONS	DATE	BY

**City of La Porte, Texas  
Planning and Zoning Commission**



**October 17, 2019**

## **AGENDA ITEM 12b**

- b. Chapter 106 Subcommittee Update

*Ian Clowes, City Planner*

*Planning and Development Department*

*City of La Porte, Texas*

**City of La Porte, Texas  
Planning and Zoning Commission**



**October 17, 2019**

## **AGENDA ITEM 12c**

- c. Update on City Council Actions

*Ian Clowes, City Planner  
Planning and Development Department  
City of La Porte, Texas*

## COUNCIL ACTION

<b>Application #</b>	<b>Request</b>	<b>Location</b>	<b>P&amp;Z Meeting</b>	<b>P&amp;Z Action</b>	<b>CC Meeting</b>	<b>CC Action</b>
FLUP 19-92000004	COM-MHDR	Canada/Fairmont	08.15.19	APPROVE 8-0	09.23.19	APPROVE
ZC 19-92000004	GC-PUD	Canada/Fairmont	08.15.19	APPROVE 8-0	09.23.19	APPROVE
SCUP 19-91000006	Multi-family	Canada/Fairmont	08.15.19	APPROVE 8-0	09.23.19	APPROVE
Chap 106 Amend	Deny w/prejudice	N/A	08.15.19	APPROVE 8-0	09.23.19	APPROVE